



City of Fontana

“The Fontana Promenade” Specific Plan



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“The Fontana Promenade” Specific Plan



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**City of Fontana
The Fontana Promenade Specific Plan**

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The Promenade Specific Plan

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1.0 INTRODUCTION

1.1 SUMMARY & BACKGROUND

The Fontana Promenade Specific Plan is a 125-acre Master Planned Mixed Use Community that focuses on creating a vibrant, “people oriented place” which combines a wide range of retail and office space uses as well as shops, restaurants and entertainment facilities with a variety of residential product types and densities. “*THE PROMENADE*” is located in the north-central part of Fontana west of the Walnut Village Specific Plan, and south of the Sierra Lakes Specific Plan, next to the Fontana Auto Center and the 210 Freeway. *THE “PONTE PROMENADE” PEDESTRIAN WALKWAY* within the Specific Plan area is a central, north/south curvilinear corridor that encourages residents and visitors to enjoy a village atmosphere with quaint shops, quality restaurants, movie theaters and other entertainment uses needed in Fontana. The focal point of THE FONTANA PROMENADE is a unique Traffic Circle, or “Round About” along Walnut Avenue that incorporates a pedestrian bridge and tower feature that bring together the southern and northern portions of the Specific Plan project area. It also conveys a sense of distinctiveness in this region of the Inland Empire. The community’s theme focuses on a walled Tuscan village with a protected and pleasant central Promenade that reflects a strong Mediterranean design influence.

The Promenade Specific Plan project area is bounded by South Highland Avenue on the north, Sierra Avenue on the east, Baseline Avenue on the south, and Juniper Avenue on the west. The site is primarily undeveloped, except for the Loveland Sunrise Seniors Housing Center, four residential dwelling units within the northern portion of the project area, a YMCA Preschool Center along Sierra Avenue south of Walnut Avenue, a water well located along Juniper Avenue close to Baseline Avenue, and a freestanding wireless communication facility located close to Juniper Avenue and South Highland Avenue. “THE PROMENADE” consists of the following major components:

- “*The Promenade*” retail, entertainment center on the northern portion of the Specific Plan project area including a multi-screen theater, restaurant row, a food court, medium box retail stores, shops, kiosk and cart sales along The Promenade, and a variety of other specialty retail uses that complement The Promenade Village environment;
- A central, curvilinear “*Tuscan Promenade*” corridor, within the community that encourages a walkable, village environment;
- A “Round About” along Walnut Avenue that incorporates a traffic circle below, with the “*Ponte Promenade*” pedestrian bridge and tower feature above, that forms a unique focal point within the Village. The bridge could contain shops, a food court and other activity-oriented retail commercial uses that provide convenient pedestrian access over the Round About and ties the commercial and mixed-uses together on both sides of Walnut Avenue;
- A mixed-use area adjacent to the south side of the “Round About” containing retail commercial uses on the ground level with the potential for office and/or residential above;
- Up to 801 medium and medium high density residences providing for alternative urban living environments generally not available in this area, with unique housing types, designs and sizes that include lofts, garden homes, townhomes and condominiums in a “Village” setting;
- An “urban village” street scene along the Sierra Avenue activity corridor with, two and three-story design elements.

The development of *The Promenade* as a mixed-use master planned community will result in substantial benefits to those working and living in the City of Fontana, including:

- ◆ Having a destination oriented, “*people place*” in a unique and pleasant village setting with quality restaurants, shops, offices and entertainment uses;
- ◆ Providing for a wide range of medium and medium high density residential product types that are integrated within an urban village setting;
- ◆ Creating a focal point within this area of Fontana that is unique to the region, competitive with other major retail activity centers in surrounding cities, and located adjacent to a designated activity center and major transportation corridors;
- ◆ Encouraging new sources of sales tax revenue created by major retail uses, by a variety of shops, restaurants, and entertainment facilities;
- ◆ Generating significant new property tax revenue that benefits the North Fontana Redevelopment Agency;
- ◆ Contributing to the balance of jobs and housing by providing for a mix of residential, commercial and office uses within the overall Specific Plan planning area;
- ◆ Creating new employment opportunities through the development of medium box commercial facilities, a sports complex area, office/corporate center, mixed use center, as well as The Promenade shops, restaurants and entertainment facilities;
- ◆ Installing significant public facility and infrastructure improvements, including streets, storm drains, sewers, curb, gutter and sidewalks and other utilities that benefit the project area and the adjacent developing areas;
- ◆ Protecting and including the existing Loveland Seniors Housing project currently located within the Specific Plan project area;
- ◆ Capitalize on the Boulevard Overlay and Activity Center Overlay land use districts established by the Fontana General Plan

This Specific Plan recognizes that the development of The Promenade will play a vital role in the growth and development of this area of the City. The Fontana Promenade Specific Plan will solidify and enhance the positive image of quality development created by the other master planned communities recently completed through the implementation of the following features:

- Unique design features that include a “Promenade” and a “Round About” with a second level pedestrian bridge that include small shops, eating establishments and entertainment uses that tie the northern and southern halves of the Specific Plan project area together;
- A unified design theme that focuses on Mediterranean architecture with arches, towers and other Tuscan design features that are compatible with, and complimentary to the design guidelines established for The Fontana Promenade and the adjacent Fontana Auto Center to the north;
- Design guidelines and development standards that create a walled village atmosphere that incorporates a protected, interior pedestrian environment with quality site amenities, design elements, combined with Mediterranean landscape treatments and water features throughout the development;
- A mixed-use development in combination with unique site amenities and features that will draw people from all parts of Fontana and the surrounding region.

This Specific Plan has been prepared in accordance with the provisions of State planning law for specific plans. More detailed information regarding the project's consistency with applicable local and State planning regulations, project overview, development regulations, design standards, and methods and procedures for implementing and administering The Fontana Promenade Specific Plan document are included in the following sections.

1.2 PURPOSE & INTENT

“THE FONTANA PROMENADE” Specific Plan has been prepared pursuant to the provisions of the Fontana Development Code and the California Government Code. State law grants the City the authority to prepare specific plans of development for any area covered by its General Plan. The general purpose is to set forth a systematic method of implementation of Fontana’s General Plan. The specific purpose of this Specific Plan is to establish a destination oriented, “*people place*” in a unique and pleasant village setting with quality residences, restaurants, shops, offices and entertainment uses. It is specific in nature as compared to a General Plan, and is set forth to address site specific issues such as conceptual development plans, permitted and prohibited uses, design themes, topography and other physical constraints, local street design, building setbacks, pedestrian corridors, and utility infrastructure. Fontana’s General Plan does not reflect the level of detail contained within a specific plan.

“The Fontana Promenade” Specific Plan examines a 125-acre project area, while the General Plan covers the entire 36 square mile City and its 16 square mile Sphere of Influence. The project area is located in rapidly growing north-central Fontana, next to the Fontana Auto Center and the developed Walnut Village Specific Plan. It is next to Sierra Avenue and near the 210 Freeway and the Sierra Lakes Master Planned Development. The General Plan designates this area as an “Activity Center” and encourages activity oriented, mixed use developments.

The intent is to create a unique development project, fostered and encourage through the adoption of carefully designed development controls and design guidelines that reflect thorough planning and careful coordination with affected property owners and developers. The most suitable development control mechanism is the specific plan which, when adopted by City Ordinance, serves both a planning and a regulatory function.

The Specific Plan is generally considered to be the most appropriate method of zoning control for large properties containing a variety of land uses. The Specific Plan must anticipate and address physical and environmental issues, and can be structured to provide the necessary flexibility to respond to changing conditions, which will arise during the lifetime of a comprehensively planned community. On the other hand, the City of Fontana's General Plan establishes objectives, which mandate the preparation of individual Specific Plan documents in order to ensure that new developments meet the basic goals, objectives and standards. These standards include required infrastructure, quality of planning and design, the provisions to create aesthetic quality, cultural identity, and environmental and physical safety.

1.3 AUTHORITY FOR, & SCOPE OF THE SPECIFIC PLAN

Section 30-62 of the Fontana Development Code specifies the purpose, requirements, regulations, and procedures for preparation of a Specific Plan in the City of Fontana.

California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan. It identifies the required contents of a Specific Plan, and mandates consistency with the General Plan.

The Fontana Promenade Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450. It grants local planning agencies the authority to prepare a Specific Plan of development for any area covered by a General Plan, for the purpose of establishing systematic methods for implementation of the agency's General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identifies the required contents of a Specific Plan and mandates consistency with the General Plan. According to Section 65451, a Specific Plan shall include a text and a diagram or diagrams, which specify all of the following in detail:

- (1) The distribution, location and extent of the uses of land, including open space, within the area covered by the plan.
- (2) The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- (3) Standards and criteria by which development will proceed, and standards for the conservation, development and utilization of natural resources, where applicable.
- (4) A program of implementation measures including regulations, programs, and public works projects and financing measures necessary to carry out items (1), (2) and (3) above.

In addition, the California Government Code states that a "*Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent with the General Plan.*"

With respect to land use regulation, this document serves as zoning for the property consistent with the City of Fontana General Plan. In this regard, all future development plans, tentative parcel and/or tract maps or other similar entitlements, shall be consistent with regulations set forth in this document and with all applicable City regulations.

In addition to the Specific Plan, an Environmental Impact Report (EIR) is being prepared under the City's authority in compliance with the California Environmental Quality Act (CEQA). The Fontana Promenade Specific Plan Program EIR serves as the project-wide environmental document for the Specific Plan and all subsequent development projects undertaken within its boundaries. The EIR is intended to be an informational document designed to provide the City decision makers and general public with a full understanding of the potential environmental effects of the Specific Plan development proposal. The Lead Agency, the City of Fontana, circulated the original Draft EIR for a sixty (60) day review period, from November 21, 2006 through January 22, 2007. Based upon comments received on the Draft EIR from Trustee Agencies and from the public, the Lead Agency has chosen to recirculate a Revised Draft EIR for an additional thirty (30) day review period, from July 18, 2007 through August 17, 2007. This shortened review period has been reviewed and approved by the State Office of Planning and Research.

1.4 GENERAL PLAN CONSISTENCY

The relationship between The Fontana Promenade Specific Plan and the Fontana General Plan is that the Specific Plan provides a site specific, detailed description of development regulations, standards and guidelines for implementing General Plan goals, policies and actions.

The Specific Plan must be in conformance with, and consistent with the General Plan in order to implement the purpose and intent of the General Plan. The Promenade Specific Plan is a specific action, with direction provided by the goals and policies contained within the Fontana General Plan.

General Plan consistency is achieved when the land uses proposed within the Specific Plan are compatible with the objectives, policies, general pattern of land uses and programs contained in the General Plan. The Governor's Office of Planning and Research defines how a Specific Plan should be consistent with the General Plan:

"An action, program or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment."

The Fontana Promenade Specific Plan has been developed to implement the goals and policies of the City of Fontana General Plan. Therefore, the Fontana City Council must make findings that The Promenade Specific Plan is consistent with the goals and policies of the General Plan (Source: Fontana General Plan, adopted October, 2003). A detailed discussion of Specific Plan conformance pertaining to goals and policies of each General Plan Element is provided in Section 2.

1.5 ORGANIZATION OF THE SPECIFIC PLAN

This Fontana Promenade Specific Plan is organized into the following chapters:

- **Section 1:** Introduction, includes the Specific Plan's purpose and intent, authority and scope, consistency with the General Plan and the plan's organization.
- **Section 2:** Project Summary and Setting, provides general information about the project, location, site conditions, and project's general relationship to and consistency with the City of Fontana General Plan.
- **Section 3:** Community Development Plan, sets forth a master plan for the development of the property consisting of a land use plan, a circulation plan, and information on necessary public facility improvements.
- **Section 4:** Development Standards and Regulations, includes specific plan development criteria for the project. This criterion is applied in the same manner as the Fontana Zoning and Development Code applies to other properties within the City.
- **Section 5:** Design Guidelines, contains design guidelines which will define the character of the community including architecture, landscaping, hardscape, water features, walls, fences, screening and signage.
- **Section 6:** Specific Plan Administration, describes the project phasing and sets forth administrative procedures for implementing the Specific Plan.

2.0 PROJECT LOCATION, SETTING AND OVERVIEW

2.1 REGIONAL & LOCAL SETTING:

The Fontana Promenade Specific Plan encompasses approximately 125-gross acres in the north-central portion of the City of Fontana, on the sloping alluvial plain of the nearby San Gabriel and San Bernardino Mountains, in western San Bernardino County. Regionally, this area of Fontana is approximately five (5) miles west of the City of San Bernardino, seventeen (17) miles north of the City of Riverside, and fifty (50) miles east of the City of Los Angeles. Figure 1, *Regional Location Map* shows The Promenade's general location within the southern California region. The site is just south of the Sierra Avenue/210 Freeway Interchange, giving the project site direct access to the regional freeway transportation system. The nearby 15, 10, 60 and 215 Freeways also provide regional access to the project area.

The following highways and streets bound The Promenade Specific Plan project area:

- South Highland Avenue on the North,
- Sierra Avenue on the East,
- Baseline Avenue on the South, and
- Juniper Avenue on the West.

Figure 2, *Vicinity Map* shows an aerial photograph of the project area, surrounding streets and land uses. Walnut Avenue, running east/west, bisects the Specific Plan project area. Sierra Avenue will serve as the primary access from the surrounding area, with Walnut Avenue being the focal point access into the center of the project. The "Ponte Promenade" pedestrian corridor runs north/south through the project, connecting the southern residential planning areas to the central and northern mixed use and commercial areas.

2.2 SURROUNDING LAND USES

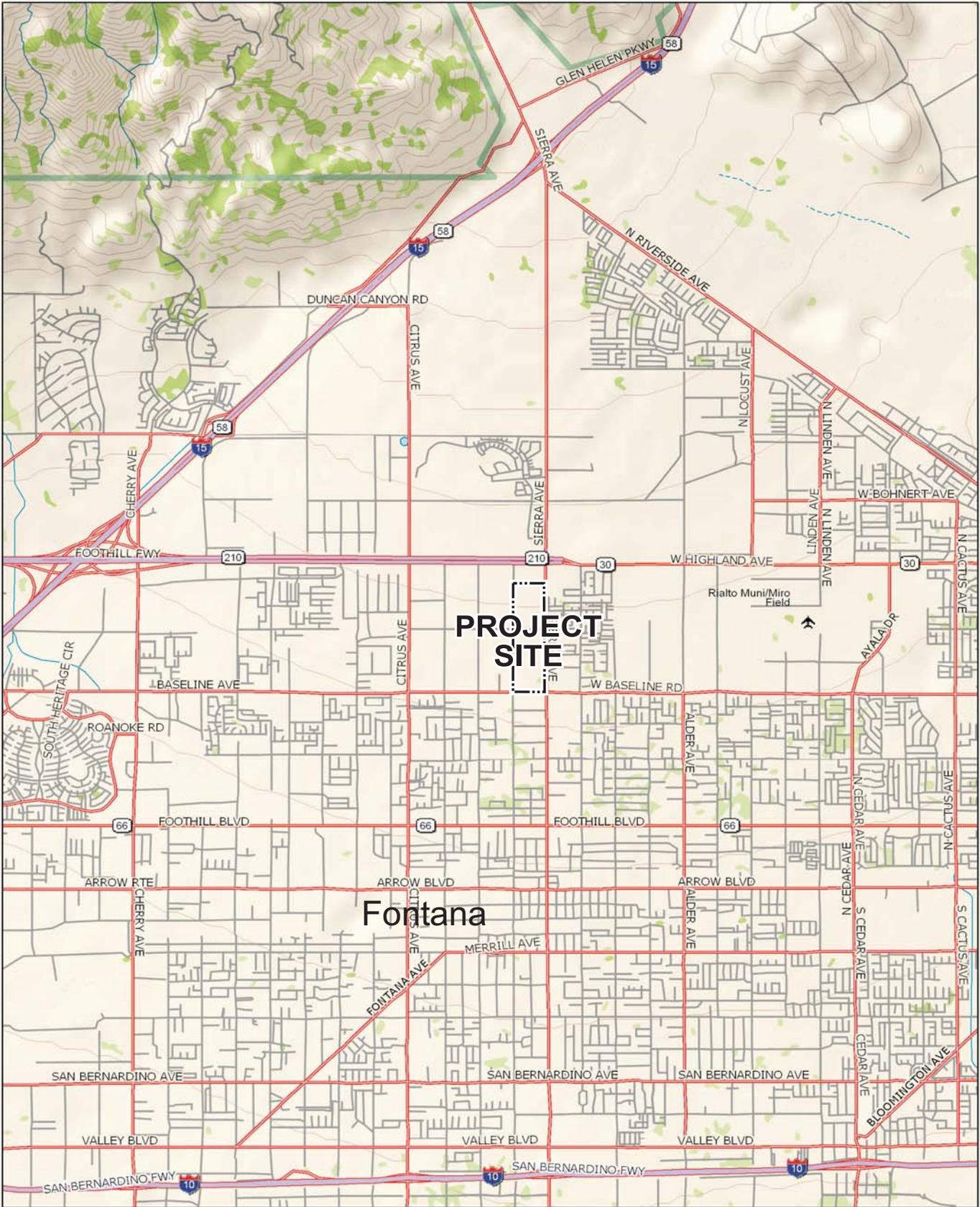
The Promenade Specific Plan project area is located in a fast growing, infill portion of North-central Fontana. The General Plan identifies this area of the City as "Growth Areas", and includes all of North Fontana. This area is currently experiencing significant amounts of new development. There are over a dozen Master Planned Developments in North Fontana that comprise thousands of new dwelling units and millions of square feet of commercial and industrial use. This area contains significant open space and recreational uses, including a golf course, a soccer complex, sports fields and other existing and proposed community and local park resources. Figure 3 identifies the known Master Planned Developments in Northern Fontana that are developed, in the process of being developed, approved, or in the process of being approved.

Adjacent and surrounding land uses to the project area are summarized in Table 1, below. They are shown in the Local Vicinity Map, Figure 2.

Table 1

SURROUNDING LAND USES

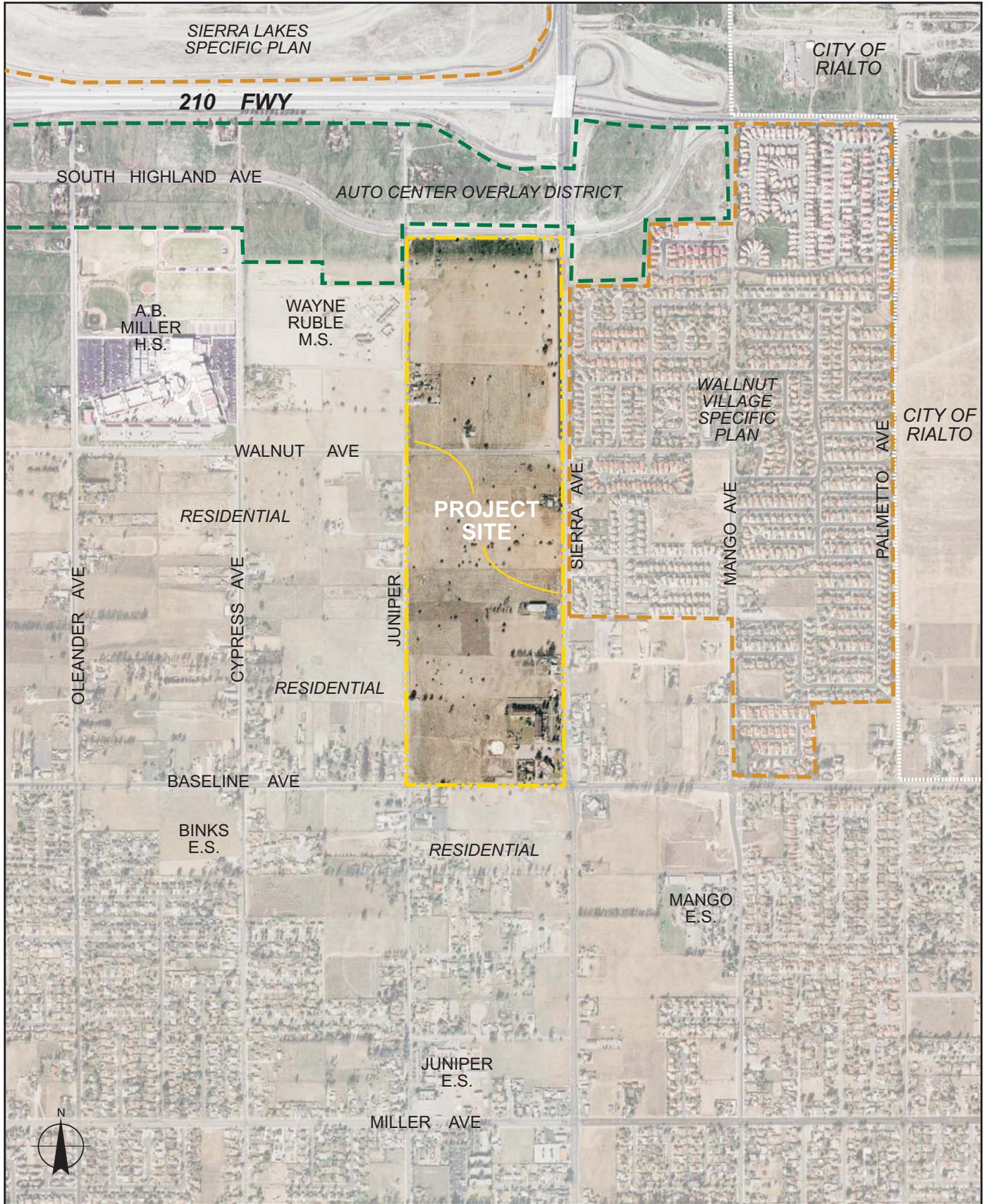
NORTH:	Fontana Auto Center Overlay District, with the Interstate 210 Freeway and the Sierra Lakes Specific Plan/Master Planned Golf Course Community beyond.
EAST:	Walnut Village Specific Plan/Master Planned Development and Mango Elementary School
SOUTH:	City Core and Residential Areas & Binks Elementary School
WEST:	Wayne Ruble Middle School, A. B. Miller High School and Existing and New Residential Developments



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**FIGURE 2
LOCAL VICINITY MAP**



**FIGURE 3
SURROUNDING LAND USES**

2.3 EXISTING SITE CONDITIONS

The Fontana Promenade Specific Plan project area is located on an alluvial plain formed by Lytle Creek. This drainage system is the primary collector for a significant watershed that includes large portions of the San Gabriel and San Bernardino Mountains. Portions of this alluvial fan serve as areas for groundwater recharge. No streams or seasonal creeks cross or impact the project area and is devoid of any significant natural vegetation. There are no Riparian, Coastal Sage Scrub or Annual Grass Habitats within this area. There are no significant tree resources, and the undeveloped portions of the project site are disked regularly for Fire Department Flammable Material Abatement.

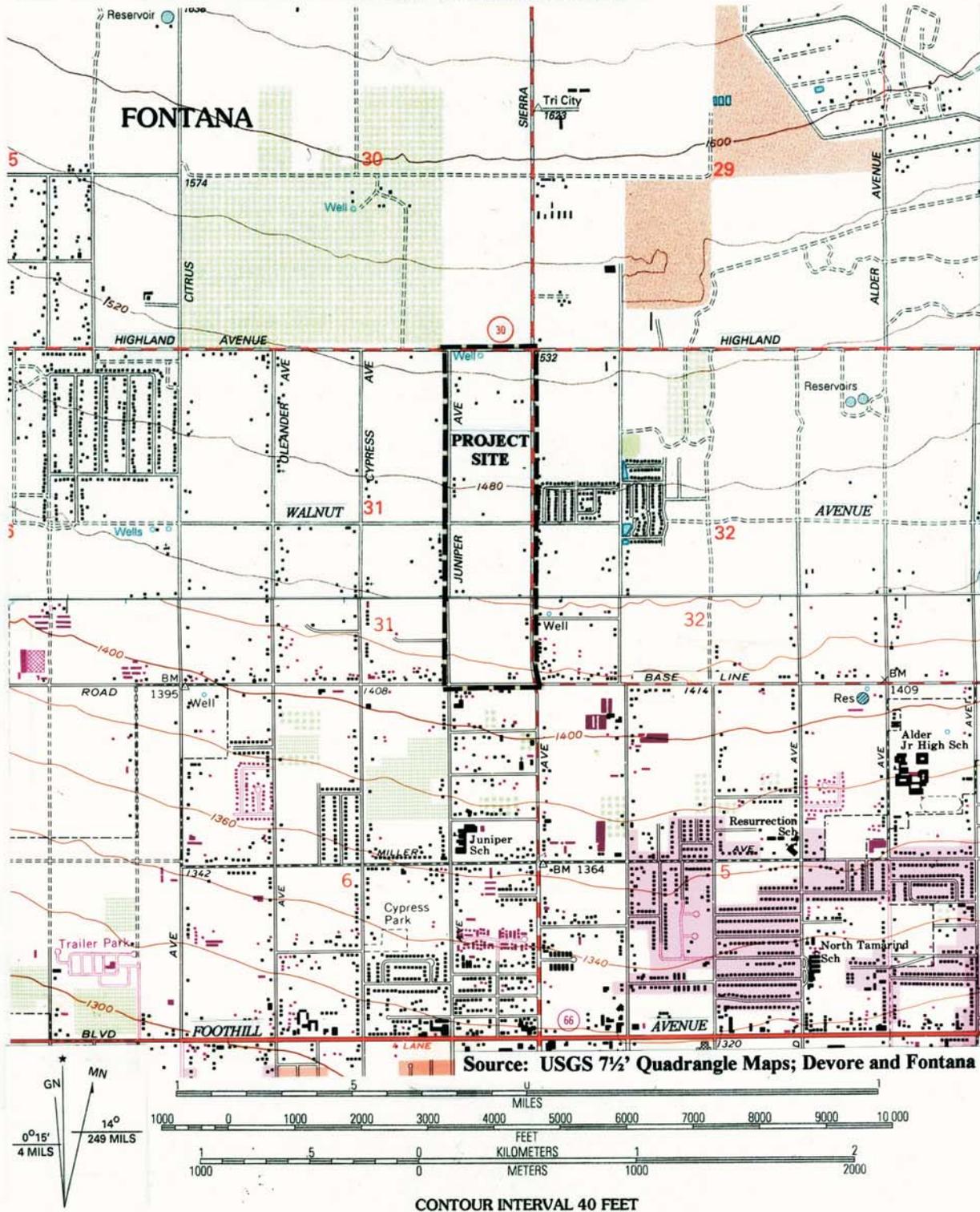
The site's topography is generally flat to gently sloping in a north-to-south direction. This area does not have any distinguishing geologic features or formations. There are no rock outcroppings, hills or swales within the project area. Figure 4 is a US Geologic Survey 7.5-Minute Quadrangle Map that shows the site and the surrounding area. Elevations range from approximately 1,250 feet above sea level at the northern edge of the project area at South Highland Avenue, down to approximately 1,140 feet at the southern edge along Baseline Avenue. This area slopes at approximately two percent (2%) from north to south and has an elevation change of around 110 feet. Three major active faults are located in the region. This includes the San Andreas, the San Jacinto, and the Cucamonga Fault Zones, all located north of the project area. There are no known active faults that directly impact the Specific Plan project area. The closest active fault is the Cucamonga Fault, located approximately three (3) miles to the northwest at the base of the San Gabriel Mountains.

There are a limited number of existing land uses within the project area, which include the following:

- ◆ Loveland Sunrise Apartments Assisted Housing Complex on Sierra Avenue, close to Baseline Avenue (80 subsidized rental units on approximately 2.4 acres);
- ◆ Three (3) occupied and one unoccupied single-family dwelling units, located on the west side of the project area along Juniper Avenue, across the street from the Wayne Ruble Middle School.
- ◆ A YMCA Preschool Center located along Sierra Avenue south of Walnut Avenue that is a temporary use until the proposed residential villages are constructed in the southern portion of the Specific Plan project area;
- ◆ Three (3) unmanned Wireless Telecommunication Facilities, two of which are located on the Loveland Housing Complex property (Verizon Wireless building mounted antennas and Cingular freestanding slimline monopole), and one located close to South Highland Avenue and Juniper Avenue (Sprint monopole with outdoor equipment cabinets).
- ◆ A temporary earthen stormwater catch basin located along Juniper Avenue close to Baseline Avenue.
- ◆ A Fontana Water Company well located adjacent to Juniper Avenue, between Baseline Avenue and Walnut Avenue.

The existing Loveland Sunrise Housing Complex is being incorporated into The Promenade Master Development Plan. All other existing uses, except for the two wireless facilities located on the Loveland Sunrise Apartments, are anticipated to transition to other master planned uses envisioned by the Specific Plan.

**City of Fontana
PROMENADE SPECIFIC PLAN
USGS VICINITY MAP**



2.4 LAND USE DESIGNATIONS AND ZONING

Fontana General Plan: The Fontana General Plan Land Use Policy Map (General Plan Figure 3-4) designates the northern three-quarters of the Promenade Specific Plan project area as “C-G”, General Commercial. This land use classification allows a Floor Area Ratio (FAR) of 0.1 up to 1.0. The southern one-quarter of the project area is designated as “R-M”, Medium Density Residential. This classification allow for single-family detached product types that range from 5.1 to 7.6 units per acre, and for single-family attached or multi-family product types that range from 7.7 to 12 units per acre.

Two other General Plan land use designations affect the Specific plan project area. They are the “Boulevard Overlay District” and the “Activity Center Overlay District”.

Boulevard Overlay: The “Boulevard Overlay” overlays Sierra Avenue from the 210 Freeway south down to the 10 Freeway, Foothill Boulevard through Fontana, and a portion of Arrow Boulevard. Sierra Avenue, between the 210 and 10 Freeways is the primary north-south transportation corridor through the City of Fontana, and contains a significant portion of the City’s commercial and public facility uses. The Boulevard Overlay allows the same FAR as the “C-G” land use designation (0.1 to 1.0), but allows greater residential densities, from 7.7 up to 24 units per acre. This Overlay is intended to provide incentives to help facilitate the transition of development along this major corridor. Its aim is to stimulate lot consolidation of smaller parcels to allow for the development of larger, well-coordinated projects. Specifically, the Boulevard Overlay seeks to:

- a) Encourage focused commercial development at key roadway intersections;
- b) Enhance flexibility in development by allowing for a complementary mix of higher density residential uses, professional offices, civic and institutional uses, and compatible mixed-use project;
- c) Ensure compatibility between adjoining uses;
- d) Provide a critical residential mass to support corridor commercial uses.

Activity Center Overlay: The intersection of Sierra Avenue and Baseline Avenue is designated within the Land Use Element of the Fontana General Plan as a “Local Activity Center”. The General Plan depiction is not intended to indicate these centers’ ultimate size or precise location. This Overlay also allows a FAR of from 0.1 to 1.0 for commercial and office uses, and residential densities that range from 7.7 up to 24 units per acre. It is intended to stimulate the development of intimately scaled activity centers that can accommodate a mix of land uses serving the surrounding area, allowing for comfortable walking distances from residential areas. Activity centers need to be a mix of uses, connected by multi-purpose corridors with trails and other linkages. These uses should promote activity, define neighborhood character and provide places for people to meet and socialize, and enhance the area’s overall quality of life. Specific uses intended within Activity Centers are:

- ◆ Community serving Retail Commercial;
- ◆ Professional Offices,
- ◆ Service Businesses;
- ◆ Entertainment Centers;
- ◆ Sales Outlets;
- ◆ Restaurants;
- ◆ Day Care Centers;
- ◆ Institutional Uses;
- ◆ Public and Quasi-public Uses.

Zoning: Zoning within the Promenade Specific Plan project area is consistent with the General Plan Land Use designations. The northern three-quarters of the property is zoned for “C-2”, General Commercial use. The southern one-quarter of the project area is zoned for “R-2” Medium Density Residential use. Article IX, Division 2 of the Zoning and Development Code sets forth the regulations, uses permitted, development standards and design guidelines for the Activity Center Overlay District. Article IX, Division 5 of the Code sets forth the regulations, standards and guidelines for the Boulevard Overlay District. The regulations, uses permitted, development standards and guidelines set forth by the Promenade Specific Plan take precedence over Municipal Code Regulations, and now represents the zoning for the project area.

2.5 OPPORTUNITIES, CONSTRAINTS AND ISSUES

With the recent completion of the Interstate 210 Freeway east to Sierra Avenue, the Specific Plan project area represents a significant “Gateway” location into this area of Fontana. Combined with the development of the Sierra Lakes Master Planned Community on the north side of the Freeway, the Fontana Auto Center on the south side of the Freeway, and the built-out Walnut Village Specific Plan to the east, this “Gateway” area is now the focus of significant development interest. The largely vacant 125-acre Specific Plan project area represents a unique opportunity to create an activity center, or node that meets the goals and objectives of the Fontana General Plan, and the vision established by the Fontana City Council and Planning Commission.

Because of the importance of this “Gateway” property near the south side of the 210 Freeway at Sierra Avenue, the City Council authorized the preparation of a specific plan for this key area. The City’s Community Development Department, under the direction of the City Manager and City Council retained the services of The Planning Consortium and Thirtieth Street Architects to develop conceptual master planning studies for the project area. A conceptual master plan for the southern half of the Specific Plan project area has been developed by the owners of the property.

The key land use planning opportunities, constraints and issues contained within the Land Use Element (Chapter 3) of the General Plan are:

- Encourage enhancement of an upscale Fontana image.
- Create and establish a high quality, unique community design theme with identifiable residential neighborhoods supported by commercial uses.
- Mitigate on-site upstream and downstream drainage impacts associated with development.
- Diversify housing types.
- Maximize regional, community and freeway-oriented commercial development potential.

The key design issues were obtained from the Community Design Element (Chapter 6) of the General Plan:

- Develop an “Activity Center” and “Node” that creates an inviting “People Place;”
- Provide strong pedestrian linkages and paths that connect the variety of mixed-uses, including residential, retail entertainment, shops, restaurants, offices, and other commercial;
- Design a unifying thematic treatment emulating “Tuscan/ Mediterranean Architecture” to create a unique, quality visual environment;
- Create a strong visual identity through distinctive “edge treatments”;

These design objectives, policies and guidelines, combined with the direction provided by the Land Use Element provided the direction to City Staff and the City's consultants to create project visioning and three initial site plans and illustrative development concepts:

1. Scheme A: Big Box
2. Scheme B: Power Center
3. Scheme C: People Place

These alternative concepts, along with sketches, thematic images and summary charts of development potential were presented to the Planning Commission, the City Council, local property owners and the public in a number of workshop sessions. These review sessions resulted in two additional conceptual refinements of conceptual master development plan. Section 2.4 provides a description of the preferred conceptual project envisioned by Fontana City Council and Planning Commission for the 125-acre Promenade Specific Plan.

Constraints that have been identified related to the future development within the project area are:

- Infrastructure: The area currently lacks certain infrastructure and public services on both a local and regional level. The SCE overhead power transmission lines down Walnut Avenue between Sierra Avenue and Juniper Avenue, and along Sierra Avenue from Walnut Avenue down to Baseline Avenue will have to be relocated and undergrounded. The infrastructure improvements and modifications required for the development of The Promenade are being identified and will be constructed or modified by the developer or by the appropriate public agencies and/or service providers.
- Topography: The project site sits on an alluvial plain that slopes from north to south. The project area is approximately 8/10ths of a mile in length down Sierra Avenue and has an elevation change of approximately 110 feet from South Highland Avenue down to Baseline Avenue. Developments will need to accommodate incremental grade changes. Large flat pad areas required for a big box use will result in relatively large cut/fill slopes that will tend to separate uses rather than integrate them along The Promenade.
- Air Quality: Generally, the region experiences adverse air quality conditions with periods of poor air quality.
- Hydrology: The property and surrounding area are subject to sheet flooding due to topography and the lack of local, on-site storm drain facilities.
- Wind: The area is subject to periodic strong winds, which require careful designs for protected pedestrian corridors within The Promenade.

2.6 GOALS & OBJECTIVES OF THE SPECIFIC PLAN

The role of this document, as both a regulatory and planning document, is to facilitate the City's General Plan goals and policies as they relate to the area and this particular site. The following is a discussion of conformance pertaining to goals of the Fontana General Plan and how The Fontana Promenade Specific Plan is consistent with those relevant goals and policies:

Land Use Element

Goal:

Land Use in our community is balanced between residential, commercial, industrial, open space and recreation land uses that are develop to high standards of quality and provide diverse economic, social and cultural opportunities for our citizens and those who wish to invest here.

Policies:

Development shall be consistent with our land use plan and contribute to the maintenance of an economic base that provides high quality jobs for those who choose to both live and work in Fontana.

Activity centers identified conceptually on the Land Use Plan shall be the preferred form of development for residentially serving retail, services and entertainment uses, and shall incorporate open spaces for public gathering as well.

Consistency: The Fontana Promenade Specific Plan sets forth a balance between residential, commercial, office, entertainment/commercial recreation and mixed uses that will be developed into a high quality, people oriented place that provides for diverse economic, social and cultural opportunities that are unique to this area of the Inland Empire. Implementation of the Specific Plan will result in a unique activity center environment that contributes to the maintenance of a viable economic base by offering a wide variety of jobs and a variety of low and medium density housing types.

Goal:

Quality of life in our community is supported by development that avoids negative impacts on residents and businesses and is compatible with, and enhances, our natural and built environment.

Policies:

New development with potentially adverse impacts on existing neighborhoods or residents such as noise, traffic, emissions and storm water runoff, shall be located and designed so that quality of life and safety in existing neighborhoods are preserved.

Consistency: The Promenade Master Development Plan contained within this Specific Plan has been designed to avoid negative impacts on residents and businesses in the vicinity of the project area, and is compatible with the existing and future built environment of this designated growth area. Resulting noise, traffic, air pollution emissions and storm water runoff from the project area are being designed so that the quality of life and safety in existing neighborhoods near the project area are protected and preserved.

Goal:

Our community is developing in a unified, orderly, logical, environmentally sound manner, which ensures that the City is unified and accessible to all residents, and results in economically sound commercial areas, vibrant neighborhoods, and jobs rich centers.

Policies:

Areas adjacent to freeway and major arterial corridors shall be given special land use and development standards guidance.

Land uses within freeway and arterial corridors shall be arranged around focal points of varied sizes and configurations to convey a sense of distinctiveness.

Improvements shall be made to transportation corridors that promote physical connectivity and reflect consistently high aesthetic values.

Consistency: The Promenade Specific Plan represents a unified, orderly, logical and environmentally sound development within a designated growth area. It has been designed to be accessible to all residents and will result in an economically sound commercial area that is unique to the region. The site is adjacent to Sierra Avenue, a major arterial corridor, and just south of the 210 Freeway. The Specific Plan sets

forth special guidance for land use and development standards, and proposes special gateways focal points and design standards that convey a sense of quality and distinctiveness. The City is also pursuing improvements to the Sierra Avenue corridor that promotes an improved aesthetic environment and better physical connectivity along this major transportation route.

Goal:

The quality of life and economic vitality in our City's core areas are enhanced by strategic infill of new development and revitalization of existing development.

Policies:

Infill development shall be accorded a high priority in the commitment of City resources and available funding.

Where necessary to stimulate the desired mix and intensity of development, land use flexibility and customized site development standards shall be achieved through various master planning devices such as specific plans, planned development zoning and creative site planning on individual building sites.

Clustering of development at key points with intermediate sectors of less intensive uses should be promoted along arterial corridors.

Assembly of parcels to allow for more efficient development patterns should be promoted wherever adjacent neighborhoods are not adversely impacted.

Consistency: The Promenade Specific Plan and Master Development Plan represent a strategic infill in a fast growing area that will create new economic vitality in Fontana. A specific plan is being used to stimulate the desired mix and intensity of land uses to create a unique people oriented place. Higher intensity development is being cluster around the Walnut Avenue "Round About" focal point in the central portion of the project. The project area is located within the North Fontana Redevelopment Area that allows for the assembly of parcels, resulting in more efficient development patterns.

Circulation Element**Goal:**

A balanced transportation system for Fontana is provided that meets the mobility needs of current and future residents and ensures the safe and efficient movements of vehicles, people and goods throughout the City.

Policies:

Limit direct access from adjacent private properties to arterials to maintain an efficient and desirable quality of traffic flow.

Locate new development and their access points in such a way that traffic is not encouraged to utilize local residential streets and alleys for access to the development and its parking.

Cooperate with regional agencies and support planning and construction of the remaining segments of the state Route 210.

Require street dedications from adjacent properties when the land is necessary for additional transportation capacity and enhanced mobility for the welfare of the community.

Require new streets to comply with adopted geometric standards for major, primary and secondary arterials at intersections.

Consistency: The Promenade Specific Plan project area is strategically located adjacent to Sierra Avenue, just south of the 210 Freeway in Northern Fontana. Development standards and design guidelines limit direct access from Sierra Avenue from adjacent private properties to achieve desired traffic flows. Additional right-of-way dedications are being required for improvements to the streets adjacent to the project area, including Sierra Avenue, Juniper Avenue, Walnut Avenue and Baseline Avenue. All new street rights-of-way will comply with standards set forth in the Circulation Element of the Fontana General Plan

Community Design Element

Goal:

Our City has a unified overall community image and appearance with distinct districts and neighborhoods.

Policies:

Major entry points or gateways into the City, especially along arterial corridors, shall be marked with City identification and with enhanced landscaping and streetscaping to highlight Fontana's identity

Development in north Fontana should be designed to incorporate elements consistent with a Mediterranean design theme.

Consistency: The Promenade Specific Plan establishes a unique, overall community image of quality development in Fontana. The development standards and design guidelines envision a Mediterranean/Tuscan theme within a protected walled village environment. Significant design elements include stone tower features, archway entry treatments, protected pedestrian walkways with complimentary landscape, hardscape and water feature treatments.

Goal:

The major arterial thoroughfares of the City contribute to the overall image and diverse character of the community.

Policies:

Major arterial highways shall be improved according to customized design guidance within and adjacent to public rights-of-way.

Adopt design guidelines for the review of projects along the I-10 and I-210 corridors.

Consistency: Sierra Avenue is the major north/south arterial thoroughfare through the central part of the City of Fontana that connects the 15, 210 and 10 Freeways. The City has adopted Sierra Avenue Design Guidelines that set forth specific entry treatments, landscape and hardscape treatments and other right-of-way improvement features that contribute to the quality image of the new developments in Northern Fontana. Specific treatments are proposed for this "Gateway" area at the 210 Freeway and Sierra Avenue.

Goal:

Existing and new development reflects extensive use of high-quality, contemporary design, incorporation unifying, community-wide design elements.

Policies:

Citywide landscape standards shall continue to be applied in new and revitalized development throughout the City.

View fencing and distinctively articulated masonry walls are preferred to long stretches of block walls adjoining residential areas.

Consistency: The Promenade Specific Plan requires the new development to incorporate extensive use of high-quality components that incorporate the desired design theme in this area of the City. Landscape and hardscape elements must also reflect the desired Mediterranean/Tuscan design theme. Walls and other types of screening must be well articulated as a part of the walled village design theme.

Goal:

Activity centers, including shopping centers, contain a high level of pedestrian amenities, distinct and varied architectural details, and careful integration into surrounding residential areas.

Policies:

Architectural interest and variety shall be maintained through varied rooflines and detailed façade treatments.

The size and design of signs shall be related to the scale of the building or development and its relation to the street.

Consistency: The Promenade Specific Plan's main design objective is to create a people oriented place and activity center with quality shops, restaurants, entertainment uses, offices and residences within a protected village atmosphere. The actual Ponte Promenade pedestrian corridor will have a high level of pedestrian amenities, combined with distinctive Mediterranean/Tuscan architectural details that include stone towers, arches, varied rooflines and façade treatments. Signage will be pedestrian oriented and designed to complement building scale and the project's relation to Sierra Avenue and other adjacent streets.

Economic Development Element

Goal:

A sustainable balance of residential, commercial and industrial uses supports our City's economy.

Policies:

The City's pattern of development should balance revenue-consuming uses with revenue-generating uses.

Land uses should be sought that can adapt to emerging market and fiscal conditions throughout the plan time horizon.

The City should achieve a mix of land uses that capitalizes on transportation corridors, stimulates employment, offers a variety of housing types/lifestyle choices and can respond to market opportunities.

Consistency: The Promenade Specific Plan sets forth a sustainable balance of commercial, office, mixed uses and residential, consistent with the General Plan that supports the City’s economy. Uses envisioned are aimed at emerging market demands being generated by other master planned developments in this area of Fontana. The Promenade will capitalize on the I-210 and Sierra Avenue transportation corridors and stimulate employment opportunities in Fontana. The southern portion of the Specific Plan will offer a variety of unique housing types and lifestyle choices that are responding to new emerging housing market opportunities in Northern Fontana.

Goal:

Expanded commercial development at key locations throughout the City serves the needs of the community and captures earlier revenue losses to surrounding areas.

Policies:

A full range of retail uses that support the local and specialty consumer, without creating adverse impacts on other nearby uses, should be supported.

The Boulevard Overlay District and Activity Center Overlay Districts should stimulate commercial development at key locations in the City as a means of stimulate successful commercial centers instead of marginal commercial strips.

Consistency: The Promenade Specific Plan area is located at a key “gateway” area into Northern Fontana. The proposed mixed-use master planned development is intended to meet the rapidly growing residential population needs in this area and capture revenue losses to surrounding communities. The plan envisions a full range of retail uses that support both local and specialty consumers that will have a positive effect on other nearby uses. The Specific Plan project area contains both the Boulevard and Activity Center Overlay Districts, which are meant to stimulate commercial development at key locations. The Promenade Master Development Plan is intended to stimulate a successful plan for a coordinated, comprehensive development rather than piecemeal commercial uses and typical residential tracts that do not achieve the vision the City has for this key location.

Goal:

The City’s Redevelopment Project Areas are fiscally sound and contribute significantly to the community’s economic vitality, public safety, and the creation of its infrastructure.

Policies:

The City shall continue to promote new development, intensification and revitalization of properties within designated Redevelopment Project Areas.

Capital improvement strategies shall be used to reinforce the desirability of development and redevelopment within Redevelopment Project Areas.

Consistency: The project area is located within the North Fontana Redevelopment Project Area. The Promenade Specific Plan sets forth a fiscally sound and economically viable development project that will result in improved public safety and infrastructure for this fast growing infill area of the City. The City is currently installing storm drain improvements along Juniper Avenue to serve the project site, and other significant roadway/right-of-way improvements are planned within and adjacent to the project area in the near future.

Promenade Specific Plan Goals and Objectives

The Promenade Specific Plan has established the following planning goals and objectives to meet the goals objectives, policies and actions set forth in the Fontana General Plan:

Enhance the Northern Fontana Visual Environment

- *Develop community entry features as major gateway amenities for project frontages adjacent to Sierra Avenue/South Highland Avenue, and at Sierra Avenue/Baseline Avenue.*
- *Improve Sierra Avenue, South Highland Avenue, Baseline Avenue and Walnut Avenue public rights-of-ways with parkways and other community identity amenities to enhance these corridors as major gateways into Northern Fontana.*
- *Provide high quality architecture and landscaping adjacent to Sierra Avenue, Baseline Avenue, South Highland Avenue Juniper Avenue and Walnut Avenue.*
- *Develop unique amenities that include a “round about”, tower features, archways, water features and other visual features at the major gateways and visual corridors into the Promenade Specific Plan project area.*

Create a Jobs/Housing Balance

- *Create a balanced community consisting of commercial, office, entertainment, commercial recreation, residential and mixed uses.*
- *Create a variety of employment opportunities by developing a mix of land uses (regional/community/neighborhood commercial, office, educational and a golf course).*

Facilitate Revenue Generating Uses

- *Enhance land values through the installation of major public improvements, amenities, and infrastructure. This will significantly increase assessed values, creating greater tax revenue to the City.*
- *Provide for increased sales tax revenues through the development of facilities related to The Promenade retail commercial uses, including shops, restaurants, entertainment facilities, offices and other mixed uses.*
- *Generate additional tax increment revenues within the North Fontana Redevelopment Area by encouraging new development within the under-utilized Specific Plan project area.*

3.0 ELEMENTS OF THE SPECIFIC PLAN

3.1 COMPREHENSIVE DEVELOPMENT PLAN

Project Summary: *The Fontana Promenade Specific Plan* sets forth a range of land uses that focuses on creating a destination oriented “activity center”, which is consistent with, and implements the goals, policies and objectives of the Fontana General Plan. The project area has the potential to create over one million square feet of commercial uses and up to approximately one thousand dwelling units. The Promenade Specific Plan encourages, and allows for a range of retail commercial uses, entertainment uses, restaurants, shops, and other complementary uses. This combination of uses is intended to create an activity center and synergy, resulting in a “people oriented place”. Commercial land use regulations limit the size of any single commercial use to avoid large pads, higher cut and fill slopes, and large areas of open parking. The Plan also includes areas that contain a range of higher density residential product types. Vertical mixed uses that combine commercial, office and residential are also encouraged at project activity nodes. These uses are integrated with unique project focal points that include a pedestrian oriented “*Ponte Promenade*” and a “Round About” that utilizes the air space over a traffic circle, within a village scale environment. *The Promenade* corridor and the “*Ponte Promenade*” pedestrian bridge over the “Round About” will create a protected pedestrian-oriented neighborhood in which to live, work and shop.

Design Objectives: The Promenade Specific Plan provides for a long-range comprehensive planning and design strategy that cannot be accomplished by designing the site on a piecemeal, parcel-by-parcel approach. To achieve a comprehensive design strategy, a number of key opportunities, constraints and issues were considered during the preparation of the Specific Plan’s Community Development Plan. This included consideration of the Fontana General Plan, the Zoning and Development Code, and the Overlay Districts established by both the General Plan and Zoning Code (see Section 2 of this Specific Plan). It also includes careful consideration of other regulatory policies, as well as engineering feasibility, traffic and circulation, environmental constraints, market acceptance, economic viability, surrounding land uses, development phasing and local community goals and objectives. The following additional objectives for the Promenade Specific Plan are based upon extensive research and analysis aimed at establishing a unique, functional, economically viable development plan:

- ◆ Establish a viable, comprehensive development plan that implements the applicable goals, policies and actions set forth in the Fontana General Plan;
- ◆ Set forth development regulations and design guidelines that result in a distinctive design and mix of uses that invites activity and creates a unique sense of place in Fontana;
- ◆ Create a people oriented activity center in North Fontana that complements and enhances the quality development occurring throughout the City;
- ◆ Make available a range of ownership housing for diverse ages and income levels that includes low and medium density product types in a protected village setting.
- ◆ Provide for a jobs-to-housing balance of employment opportunities and residential dwelling units;
- ◆ Create convenient pedestrian and bicycle linkages between the residential villages and the commercial activity areas, as well as the adjacent and nearby residential areas and the Wayne Ruble Middle School and A. B. Miller High School;
- ◆ Create outdoor, pedestrian corridors and other activity areas that are protected from the natural elements, including wind, rain and the heat;

- ◆ Implement infrastructure improvements necessary to facilitate project implementation in a timely manner.

3.2 LAND USE PLAN

The Fontana Promenade Specific Plan Land Use Plan contains a balanced mix of retail commercial, office, residential and commercial recreational uses. The Land Use Plan focuses on creating a vibrant, “people oriented place” that combines a wide range of retail and office uses that include small shops, restaurants, entertainment facilities, larger retail outlets, combined with a variety of residential product types and densities. The “*Ponte Promenade*” is a curvilinear, central multi-modal corridor that encourages residents and visitors to enjoy a village environment with quaint shops, quality restaurants, movie theaters and other entertainment uses needed in Fontana. The focal point of The Promenade is a unique traffic circle, or “Round About” along Walnut Avenue that incorporates a pedestrian bridge and tower feature that bring together the southern and northern halves of the Specific Plan. The community’s theme focuses on a protected and attractive Tuscan village featuring a central Promenade that reflects a strong Mediterranean design influence.

The Land Use Plan has been designed to achieve a balance between jobs and housing, and to provide the opportunity for people to live close to where they work. It encourages pedestrian connectivity with the surrounding community, and between The Promenade commercial areas and residential villages.

The Specific Plan Planning Area is divided into thirteen (13) Planning Areas, as shown in Figure 5. Table 2 provides a breakdown of each Planning Area, including gross acres, gross square feet of land area, potential square feet of commercial development and potential number of dwelling units.

The Promenade Master Planned Community will provide a distinctive community image through the application of integrated design guidelines, development standards, a comprehensive landscaping plan and gateway monumentation. These elements serve to unify the overall land use plan, reinforcing the community concept and incorporating significant design elements to reflect a quality development with a unique visual image.

Land uses set forth within The Promenade Specific Plan are generally summarized as follows:

Commercial Land Uses:

Commercial land uses are proposed for close to half of the Specific Plan project area and are generally located in the northern portion of the project. Planning areas designated for commercial use occupy approximately 57.25 gross acres, or forty-seven percent (47%) of the project area.

Planning Area 1 is the largest planning area, with approximately 44.75 gross acres. It would contain the theater complex, restaurant row and food court, shops and other retail uses. Mixed-use offices above retail commercial are also allowed in Planning Area 1 subject to the issuance of a conditional use permit. This planning area can contain a maximum of 664,000 square feet of commercial use.

Planning Area 2 contains approximately 2.5 acres, including the Walnut Avenue right-of-way. This Planning Area also contains the Round About along Walnut Avenue and the “*Ponte Promenade*” pedestrian bridge and *Campanile* tower, with small retail shops, kiosks and carts on the bridge.

Residential Land Uses:

Residential land uses are concentrated in the southern portion of the Specific Plan, and occupy approximately 49 gross acres, or forty percent (40%) of the project area. Densities can range from around 10 to 18 dwelling units per acre. Anticipated residential product types include two to three-story condominiums and single-family detached or attached units. Three Planning Areas (5, 8 and 10) allow for both for sale and/or for rent dwelling units. The Specific Plan allows for a maximum of 721 new residential dwelling units throughout all residential and mixed use Planning Areas.

The area bounded by Planning Areas 10 and 11 is currently developed with the Loveland Sunrise Apartment Complex. This area is designated as Planning Area 13, and contains 80 federally subsidized rental units on a 3.2-acre parcel along Sierra Avenue near Baseline Avenue. This existing land use is consistent with the Fontana General Plan and the goals and objectives of The Fontana Promenade Specific Plan, and is proposed to remain within, and be a part of the residential village concept in the southern portion of the project area. The overall number of existing and proposed residential dwelling units is 801.

Mixed Land Uses

Planning Area 3 totals approximately 6.0 acres. It is located at the southwest corner of Sierra Avenue and Walnut Avenue, at the proposed Ponte Promenade bridge and across from Planning Area 4. This planning area allows for a wide range of commercial uses including sports fitness club, spas, a hotel, offices and retail, market/drug or specialty market, other commercial uses and recreational facilities including sports fitness clubs and spas available for use by adjacent residents with special funding provided through homeowner association membership. Planning Area 3 is proposed for a two and three-story, vertically integrated mixed-use development that includes retail commercial and office professional uses on the ground floor, with the potential for a limited number of residential flats and/or townhomes above. This Planning Area could accommodate up to 70,000 square feet of commercial use and up to 12 residential lofts.

Planning Area 4 is proposed for a two and three-story, vertically integrated mixed-use development that includes retail commercial and office professional uses on the ground floor, with residential flats and/or townhomes above. This Planning Area occupies approximately 4 acres and could accommodate up to 34,500 square feet of commercial/office use and up to 56 residential lofts and/or live/work units.

Private Recreation

Planning Area 12 is centrally located within the residential planning areas in the southern half of the Specific plan project area. This Planning Area will contain private recreational amenities for the residents within The Promenade Specific Plan. Recreational amenities currently being considered include a private clubhouse, playground with splash garden water feature, a “bark park” dog run and other amenities will be provided on this site. This area also includes the “promenade” open space area provided for residents and visitors to stroll along a landscaped community green. This open space also provides easily accessible pedestrian access to the Ponte Promenade pedestrian bridge and commercial shopping; reducing vehicle dependence for shopping, entertainment and employment for residents of the southern portion of the village. The “Ponte Promenade” corridor and other pedestrian corridors radiate out from this Planning Area, providing pleasant linkages to all other residential planning areas in the southern half of the Specific plan project area, and to the mixed use and commercial planning areas to the north.

Supporting and Accessory Land Uses

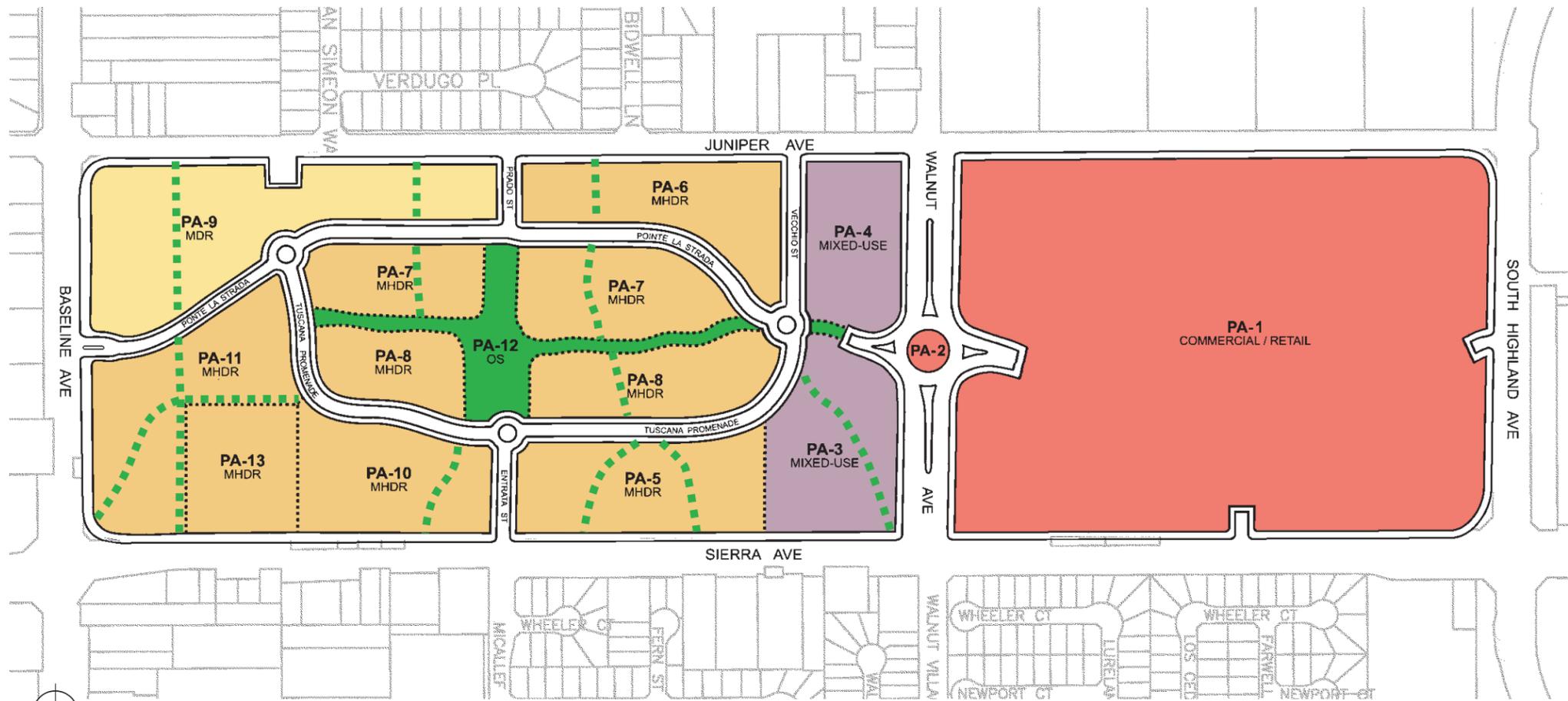
Other supporting land uses, such as a day care center, a community center, private recreation facilities, wireless telecommunication facilities, water wells and other utility buildings and cabinets are permitted in most planning areas, subject to discretionary permit processes.

PLANNING AREAS

Thirteen (13) distinct development areas, designated as “Planning Areas” have been established in order to implement the goals and objectives of The Promenade Specific Plan and the Fontana General Plan. These planning areas were formed and designed on the basis of logical clustering of development and the existing surrounding circulation system that serves the project area. Each planning area will have unique characteristics, but is integrated into a cohesive master plan of commercial activity centers and residential villages. Together, the planning areas form a broader master planned community interconnected by the Ponte Promenade bridge and pedestrian corridors integrating the various uses to tie the planning areas together.

Development standards for each planning area are set forth in Section 4 of this Specific Plan. Development in each planning area will closely conform to the development standards presented in the following section. However, actual residential lot configurations, site planning of the commercial development and selection of specific commercial uses will not be determined until the tentative tract map stage and may result in minor adjustments to the standards, as set forth in written approvals by the Director of Community Development.

At the tentative tract map stage of design and development, the actual number of dwelling units allocated to a particular residential planning area, and the actual square footage of commercial development may differ slightly from the numbers specified in The Promenade Specific Plan. With prior written approval by the Director of Community Development, the number of dwelling units in a particular residential planning area may be increased or decreased by up to fifteen percent (15%), and transferred between residential planning areas, provided that the maximum unit count for the entire Specific Plan project area does not exceed 801 dwelling units. With prior written approval of the Director of Community Development, up to fifteen percent (15%) of the commercial square footage of any commercial or mixed use planning area may be added or transferred to another commercial or mixed use planning area, provided that the maximum square footage allowed within the Specific Plan does not exceed 778,500 square feet. The development standards and design guidelines contained in Sections 4 and 5 of this Specific Plan, respectively, will ensure uniformity of the use and design with the overall intent of the master development plan.



Commercial

 Commercial / Retail

Mixed Use

 Commercial / Office / Residential

Residential

 Medium Density

 Medium High Density

Residential

 Open Space

 Pedestrian Connections

STATISTICAL SUMMARY BY PLANNING AREA

PLANNING AREA	ZONING	TYPE OF PLANNED USE	GROSS ACRES	NET ACRES	POTENTIAL COMMERCIAL SQUARE FEET	POTENTIAL DWELLING UNITS
1	"C" Commercial	Promenade Entertainment Complex, Theater, Shops, Restaurants,	47.8	40.0	664,000	0
2	"C" Commercial	Walnut Avenue Round About, Ponte Promenade Bridge & "Campanile" Tower	2.6	1.0	10,000	0
3	"M-U" Mixed-Use	Commercial Uses, Sports Fitness Club, Grocery/Drug, or Specialty Market, Hotel & Residential Lofts	6.0	5.4	70,000	12
4	"M-U" Mixed-Use	Mixed-Use; Office, Commercial, Residential Lofts or Live/Work Units (2- to 3-stories)	4.0	3.6	34,500	56
5	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories)	6.0	5.4	0	96
6	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories)	5.6	5.1	0	78
7	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories)	7.8	7.1	0	103
8	"MHDR" Medium High Density Residential (Up to 14 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories)	7.2	6.5	0	94

PLANNING AREA	ZONING	TYPE OF PLANNED USE	GROSS ACRES	NET ACRES	POTENTIAL COMMERCIAL SQUARE FEET	POTENTIAL DWELLING UNITS
9	"MDR" Medium Density Residential (Up to 12 du/ac)	Residential Single-Family Detached or Attached (2 & 3 stories)	10.0	9.1	0	103
10	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories)	5.3	4.8	0	85
11	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories)	7.0	6.4	0	94
12	"OS" Recreation Open Space	Park, Community Center and Open Space	3.0	2.5	0	0
13	Existing Loveland Sunrise Apartments	Subsidized Residential Apartments	3.7	3.0	0	80
	Primary Residential Circulation (Private Streets)		9.1	-	-	-

	GROSS ACRES	NET ACRES	POTENTIAL COMMERCIAL SQUARE FEET	POTENTIAL DWELLING UNITS
Totals	125.1	99.9	778,500	801

**FIGURE 5
CONCEPTUAL LAND USE**

**TABLE 2
PROMENADE PLANNING AREA STATISTICAL SUMMARY**

PLANNING AREA	ZONING	TYPE OF PLANNED USE	GROSS ACRES	NET ACRES	POTENTIAL COMMERCIAL SQUARE FEET	POTENTIAL DWELLING UNITS
1	"C" Commercial	Promenade Entertainment Complex, Theater, Shops, Restaurants,	47.8	40.0	664,000	0
2	"C" Commercial	Walnut Avenue Round About, Ponte Promenade Bridge & "Campanile" Tower	2.6	1.0	10,000	0
3	"M-U" Mixed-Use	Commercial Uses, Sports Fitness Club, Grocery/Drug, or Specialty Market, Hotel & Residential Lofts	6.0	5.4	70,000	12
4	"M-U" Mixed-Use	Mixed-Use Office, Commercial, Residential Lofts or Live/Work Units (2- to 3-stories)	4.0	3.6	34,500	56
5	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories, for sale and/or for rent)	6.0	5.4	0	96
6	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories, for sale)	5.6	5.1	0	78
7	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories, for sale)	7.8	7.1	0	103
8	"MHDR" Medium High Density Residential (Up to 14 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories, for sale and/or for rent)	7.2	6.5	0	94
9	"MDR" Medium Density Residential (Up to 12 du/ac)	Residential Single-Family Detached (2 & 3 stories, for sale)	10.0	9.1	0	103
10	"MHDR" Medium High Density Residential (Up to 18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories, for sale and/or for rent)	5.3	4.8	0	85
11	"MHDR" Medium High Density Residential (Up to-18 du/ac)	Residential Condominiums and Townhomes (2- to 3-stories, for sale)	7.0	6.4	0	94
12	"OS" Recreation Open Space	Park, Community Center and Open Space	3.0	2.5	0	0
13	Existing Loveland Sunrise Apartments	Subsidized Residential Apartments	3.7	3.0	0	80
	Primary Residential Circulation (Private Streets)		9.1	-	-	-
		Totals	125.1	99.9	778,500	801

ELEMENTS OF SPECIFIC PLAN

Planning Area 1: Planning Area 1 represents an important “Gateway” into northern Fontana from the recently completed Interstate 210 Freeway at Sierra Avenue. The southwest corner of South Highland Avenue and Sierra Avenue provides an important window into the project that will have a distinctive entry feature that sets the tone for a quality development and invites you into “The Promenade”. This Planning Area will contain activity-oriented uses that include a multi-screen theater, other commercial recreation, retail shops, quality restaurants a food court and small kiosks and carts located along the pedestrian promenade. Mixed-use offices above retail commercial are also allowed in Planning Area 1, subject to the issuance of a conditional use permit. Planning Area 1 is the largest planning area, with approximately 47.8 gross acres, and would allow for a maximum of 664,000 square feet of commercial development.

Planning Area 2: Planning Area 2 is the focal point of activity for *The Promenade* and contains the Walnut Avenue right-of-way, the “Round About” traffic circle with the “Ponte Promenade” pedestrian bridge over the Round About that ties Planning Areas 1, 3 and 4 together on both sides of Walnut Avenue. A “campanile” tower feature would be located in the center of the Round About and bridge that will be visible throughout the project area and beyond. Direct pedestrian access would be provided to all abutting planning areas and commercial uses. Small shops would overhang the bridge and individual kiosks and carts would line the *Ponte Promenade*. Additional commercial uses would tie directly into the adjacent commercial planning areas. Food court uses would also be encouraged. The “Round About” allows easy, grade-separated vehicle access to both the northern and southern sections of the commercial activity center. Planning Area 2 contains approximately 2.6 gross acres, which includes Walnut Avenue, the Round About, and the *Ponte Promenade* pedestrian bridge. Up to 10,000 square feet of retail commercial development is allowed within this Planning Area. Required parking for Planning Area 2 would be met by reciprocal parking in adjacent commercial and mixed-use planning areas.

Planning Area 3: Planning Area 3 is located at the southwest corner of Sierra Avenue and Walnut Avenue and encourages a sports complex consisting primarily of a sports club/fitness facility, spa uses, office professional uses, retail shops and sit down restaurants. Also encouraged is vertical mixed-use development that includes commercial, office professional and residential uses adjacent to the proposed Ponte Promenade pedestrian bridge. This portion of Planning Area 3 would be developed with ground floor commercial with second and third-story residential above. Private recreation facilities, and/or joint use of the commercial recreation facilities by the residents within the residential villages are allowed within this planning area. A hotel is also a permitted use in Planning Area 3 This Planning Area contains approximately 6 gross acres and would allow up to 70,000 square feet of commercial development and twelve (12) residential lofts.

Planning Area 4: This Planning Area is located at the southeast corner of Walnut Avenue and Juniper Avenue and allows for a vertical mixed-use development that includes commercial, office professional and residential uses. Adjacent uses to the west consist primarily of existing single-family homes and developing tracts of new single-family and multi-family homes. Planning Area 4 would be developed with ground floor commercial with second and third-story office professional uses, with the potential for third-and forth-story residential lofts above, allowing a unique, urban living environment currently not available in Fontana or anywhere in the surrounding region. Secured parking areas for residents and office professional uses would be provided at or below grade, under adjacent to the mixed-use buildings. This Planning Area has approximately 4 gross acres and would allow for up to 34,500 square feet of commercial development and fifty-six (56) residential lofts.

Planning Area 5: This residential Planning Area is located along Sierra Avenue, between the proposed Entrata Street and the Planning Area 3 commercial site. The area will feature medium-high density town homes or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height.

ELEMENTS OF SPECIFIC PLAN

Units would be for sale homes and/or for rent apartments, and would provide a range of sizes, number of bedrooms and bathrooms. This Planning Area contains about 6.0 gross acres, enabling the development of approximately ninety-six (96) dwelling units.

Planning Area 6: Planning Area 6 is located along Juniper Avenue, between the proposed Prado and Vecchio Streets and across from Planning Area 7. The area will feature medium-high density town homes or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height. All units would be for sale homes and would provide a range of sizes, number of bedrooms and bathrooms. This Planning Area contains about 5.6 gross acres, enabling the development of approximately seventy-eight (78) dwelling units.

Planning Area 7: Planning Area 7 is located in the middle of The Promenade's residential village. The land is split into two development areas by an open space park area centrally located in the specific plan. The northerly development area is located at the intersection of proposed Prado Street and Ponte La Strada and the southerly area at the intersection of Tuscana Promenade and Ponte La Strada. Both sites are considered one neighborhood within the village and will be considered collectively to determine density. Planning Area 7 will contain medium-high density town homes that are up to 18 dwelling units per acre and two- to three-stories in height. All units would be for sale homes and would provide a range of sizes, number of bedrooms and bathrooms. This Planning Area collectively contains about 7.8 gross acres, enabling the development of approximately one hundred three (103) dwelling units.

Planning Area 8: Planning Area 8 is located in the middle of The Promenade's residential village. The land is split into two development areas by an open space park area centrally located in the specific plan. The northerly development area is located at the intersection of proposed Entrata Street and Tuscana Promenade and the southerly area is located near the southern terminus of Tuscana Promenade just south of the proposed Entrata Street and south of the proposed open space park. Both sites are considered one neighborhood within the village and will be considered collectively to determine density. Planning Area 8 will contain medium-high density condominium and/or town homes that are up to 14 dwelling units per acre and two- to three-stories in height. Units would be for sale homes and/or for rent apartments, and would provide a range of sizes, number of bedrooms and bathrooms. This Planning Area collectively contains about 7.2 gross acres, enabling the development of approximately ninety-four (94) dwelling units.

Planning Area 9: Planning Area 9 is located in the southwest corner of the project area, at Baseline Avenue and Juniper Avenue. It will contain medium density, single-family detached homes that have an average density of up to 12 dwelling units per acre and two to three stories in height. All units would be for sale detached homes and would provide a range of sizes, number of bedrooms and bathrooms. This Planning Area is approximately 10.0 gross acres, enabling the development of approximately one hundred three (103) single-family dwelling units.

Planning Area 10: This residential Planning Area is located along Sierra Avenue, between the proposed Entrata Street and the Loveland Housing Complex commercial site. The area will feature medium-high density town homes and/or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height. Units would be for sale homes and/or for rent apartments, and would provide a range of sizes, number of bedrooms and bathrooms. This Planning Area contains about 5.3 gross acres, enabling the development of approximately eighty-five (85) dwelling units.

Planning Area 11: Planning Area 11 is located in the southeast corner of the Specific Plan project area, at Sierra Avenue and Baseline Avenue, surrounding the Loveland Housing Complex on the south and west boundary. The area will feature medium-high density town homes or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height. All units would be for sale homes and would

provide a range of sizes, number of bedrooms and bathrooms. This Planning Area contains about 7.0 gross acres, enabling the development of approximately ninety-four (94) dwelling units.

Planning Area 12: Planning Area 12 is located in the center of the residential Specific Plan project area, between the proposed Prado and Entrata Streets, and contains approximately 3.0 gross acres. This Planning Area is intended to provide recreation opportunities for residents of The Promenade. A private clubhouse, playground with splash garden water feature, a “bark park” dog run and other amenities are currently being considered within this Planning Area. This area also includes the “Promenade” open space and pedestrian walkway area provided for residents and visitors to stroll along a landscaped community green. This open space also provides easily accessible pedestrian access to the Ponte Promenade pedestrian bridge and commercial shopping; reducing vehicle dependence for shopping, entertainment and employment for residents of the southern portion of the project area. This open space also provides a safe visual corridor protecting future residents within each neighborhood, enabling kids to safely play with the security of “eyes on the street” design.

Planning Area 13: The Loveland Sunrise Apartment Complex currently contains eighty (80) federally subsidized rental units. This existing land use is proposed to remain within the Specific Plan planning area. This property also contains two wireless telecommunication facilities, one freestanding slim-line monopole and another with antennas mounted to the exterior of the building. This Planning Area contains approximately 3.7 gross acres.

3.3 CIRCULATION PLAN

3.3.1 VEHICLE CIRCULATION

The circulation pattern for The Promenade is focused upon primary access from Sierra Avenue, which connects to the regional freeway system (210, 15 and 10 Freeways). South Highland Avenue and Baseline Avenue also provide direct access on the northern and southern sides of the project area. Walnut Avenue bisects the Specific Plan project area in two, and provides access to the central Round About. The Round About provides convenient access to both the northern and southern parts of the Specific Plan. Two central, curvilinear local collectors connect the southern, residential portion of the project area at Baseline Street to the central commercial activity center, and beyond, into the northern commercial planning area. Figure 6, shows The Promenade Circulation Master Plan, including the interior streets that connect the southern and northern portions of the Specific Plan Project area. Figures 7a and 7b provide mid-block street sections and the design standards for the streets that serve The Promenade, including Sierra Avenue, Baseline Avenue, South Highland Avenue, Juniper Avenue and Walnut Avenue. Figure 8 provides the mid-block street section for local streets within the Specific Plan project area.

A detailed “Alignment Study” has been prepared for all public rights-of-way around and within the Specific Plan project area. The Alignment Study reflects the roadway and intersection design that identifies the through and turn lane configurations, medians and parkways. The Alignment Study also sets forth the design of Walnut Avenue and the “Round About” traffic circle. Walnut Avenue, the “Round About” and the “Ponte Promenade” pedestrian bridge is the primary focal point and activity center for “The Promenade” and serves a number of functions. The Round About serves to slow and disburse traffic to the northern and southern portions of the project area. The Ponte Promenade bridge over the Round About effectively separates pedestrians from the vehicle circulation below and connects the adjacent commercial planning areas. Figures 9a through 9g provides the design standards for the roadways and intersections that directly serve the Specific Plan project area.

Sierra Avenue provides the primary citywide access to The Promenade. This north-south arterial highway is Fontana's major commercial corridor that bisects the downtown commercial core. It also contains the majority of the City's public facilities, including City Hall, the Police Department, the Central Library and a number of other community facilities. Access from northbound Sierra Avenue into The Promenade will be limited to Walnut Avenue. Access from southbound Sierra Avenue will be limited to right-turn in and right-turn out for two new streets. One new access would be between South Highland Avenue and Walnut Avenue to serve the commercial Planning Area 1. The other would be between Walnut Avenue and Baseline Avenue, to serve the residential villages.

The other surrounding streets, South Highland Avenue, Baseline Avenue, and Juniper Avenue also provide access into The Promenade. Ingress and egress into and out of the project area is limited to one central, mid-block access point on South Highland Avenue and Baseline Avenue. There are four local access points allowed along Juniper Avenue; two into the residential villages between Baseline and Walnut Avenues, and two into the rear parking lots in the northern commercial planning area between Walnut Avenue and South Highland Avenue. Walnut Avenue also allows direct access into the central Roundabout that provides convenient access to the northern portion of the Specific Plan project area.

Descriptions of the vehicular circulation improvements that will be implemented as a part of The Promenade Specific Plan are summarized below.

Sierra Avenue: The Fontana General Plan Recommended Circulation Master Plan identifies Sierra Avenue as a "Major Highway" that has a mid-block right-of-way width of 132 feet. This right-of-way section has a 20-foot wide raised median, three travel lanes in each direction and 12-foot wide parkway/sidewalk areas on each side. The eastern side of Sierra Avenue adjacent to the project is fully improved to its ultimate half width from South Highland Avenue south to Baseline Avenue. This was constructed as a part of the Walnut Village Specific Plan circulation improvements. Partial improvements to the west side of Sierra Avenue south of South Highland Avenue down to Walnut Avenue were recently completed as a part of the completion of the Interstate 210 Freeway/Sierra Avenue interchange, including a bus turnout. Improvement to the remainder of the ultimate right-of-way on the west side of Sierra Avenue is scheduled to be completed by fall of 2007 as a part of the City's capital improvement program. Signals currently exist at South Highland Avenue, Walnut Avenue and Baseline Avenue along Sierra Avenue. Sierra Avenue is also a designated "Truck Route" within the City's Circulation Master Plan.

South Highland Avenue: The Circulation Master Plan identifies South Highland Avenue as a "Primary Highway" that has a mid-block width of 104 feet. It has a 14-foot median; two travel lanes in each direction and 12-foot wide parkway/sidewalk areas on each side of the street. The City of Fontana recently completed fully improved travel lanes along South Highland Avenue from Sierra Avenue west to Juniper Avenue and beyond to Citrus Avenue. Parkway areas will be completed when adjacent development occurs. The intersection of South Highland Avenue and Sierra Avenue is currently signalized.

Baseline Avenue: Baseline Avenue is identified as a "Major Highway" by the Circulation Master Plan, and has the same mid-block right-of-way width, median, number of travel lanes and parkway/sidewalk configuration as Sierra Avenue. Currently, Baseline Avenue is improved with two travel lanes in both directions between Sierra Avenue and Juniper Avenue. Project applicants are required to provide half-width improvements along Baseline Avenue when adjacent development occurs. There are existing traffic signals at the intersections of Baseline Avenue and Sierra Avenue, and Baseline Avenue and Juniper Avenue.

Juniper Avenue: Juniper Avenue is not included on the City's Circulation Master Plan, and is considered a "Local Street". Local streets have a right-of-way width of 64 feet and have one 20-foot travel lane in

each direction and a 12-foot parkway/sidewalk area on each side of the street. Juniper Avenue currently has partial half-width improvements adjacent to Warren Ruble Middle School and other single-family residential tracts that are currently being developed on the west side of the street. The eastern half-width will be improved as a part of the Promenade development. There is currently a traffic signal at Juniper and Baseline Avenues.

Walnut Avenue: The Circulation Master Plan identifies Walnut Avenue as a “Modified Collector” street that has a right-of-way width of 86 feet. This right-of-way section has a 10-foot median and 50 feet of curb-to-curb roadway. The landscape parkway varies from 9 to 10 feet wide, with a bike/sidewalk area outside the dedicated right-of-way. Walnut Avenue between Sierra Avenue and Juniper Avenue has recently been improved to a 56-foot curb-to-curb width within an 86-foot right-of-way. Ultimate roadway improvements will occur to this portion of Walnut Avenue with the development of The Promenade. The intersection of Walnut Avenue and Sierra Avenue is currently signalized. The intersection of Walnut Avenue and Juniper Avenue is currently controlled by four-way stop signs. The Alignment Study for Walnut Avenue and the round about/traffic circle contained with Figure 9d is conceptual in nature at this point in time, and will be refined at the tract map stage, through the City’s Development Review Board (DRB) process, and must be approved by the Planning Commission, prior to the approval of any tract or parcel map for development in Planning Areas 1 through 4.

Ponte Promenade Round About: As previously stated, the “Round About” and the “Ponte Promenade” pedestrian bridge is the primary focal point and activity center for “The Promenade” and serves a number of functions. The Round About serves to slow and disburse traffic to both the northern and southern portions of the project area. The “Ponte Promenade” bridge over or near the Round About effectively separates pedestrians from the vehicle circulation below and connects the commercial on the north side of Walnut Avenue to the mixed-use areas and residential villages on the south side. The conceptual design standards for the Round About roadway improvements are set forth in Figure 9d. As stated above, the Alignment Study for Walnut Avenue and the round about/traffic circle contained with Figure 9d is conceptual in nature at this point in time, and will be refined at the tract map stage, through the City’s Development Review Board (DRB) process, and must be approved by the City Traffic Engineer and the Planning Commission, prior to the approval of any tract or parcel map for development in Planning Areas 1 through 4.

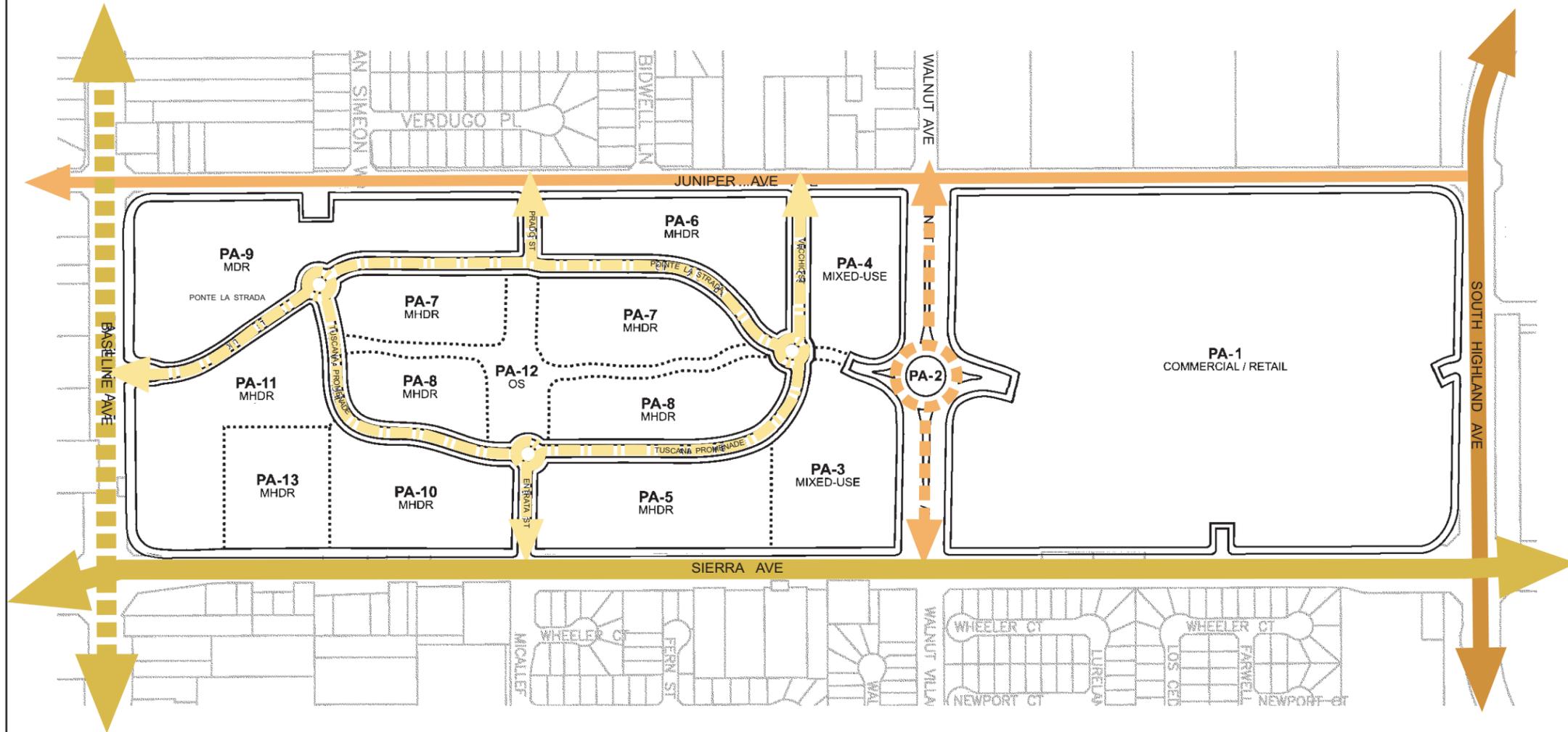
Tuscana Promenade: Tuscana Promenade is the central, curvilinear spine street that connects the northern and southern portions of The Promenade Specific Plan project area. It will be a modified Local Street with enhanced pedestrian amenities. Tuscana Promenade, north of Walnut Avenue will provide two travel lanes in each direction. Tuscana Promenade south of Walnut Avenue will be designed with one twelve-foot travel lane in each direction and parking pockets on each side. A small “roundabout” will be provided at the intersection of Tuscana Promenade and Ponte La Strada, Entrata and Vecchio Streets that serves to slow and disburse traffic without the need for a signal or four-way stop. Enhanced pedestrian amenities such as detached sidewalk, landscaped parkways with canopy trees, convenient bicycle rack locations, shared bicycle/vehicle lanes; pedestrian intersection “bulb-outs” and raised mid-block pedestrian crossings will act as traffic calming measures and encourage pedestrian use.

Ponte La Strada: North-south local streets within the residential village of The Promenade will have one twelve foot lane in each direction and -foot parallel parking pockets on each side. Enhanced pedestrian amenities such as detached sidewalk, landscaped parkways with canopy trees, convenient bicycle rack locations, shared bicycle/vehicle lanes, pedestrian intersection “bulb-outs” and raised mid-block pedestrian crossings will act as traffic calming measures and encourage pedestrian use (see Figure 8).

Entrata, Prado and Vecchio Streets: These east-west local streets will provide access to the residential village of The Promenade. Entrata, the primary entry from Sierra Avenue will feature a landscaped center

median and a small round about at the intersection of Tuscana Promenade and the proposed park. Prado will also feature a landscaped median and will connect Juniper Avenue with Ponte La Strada. Vecchio is the primary entry to the commercial planning areas and intersects with the pedestrian promenade and Pont Promenade Plaza between the proposed mixed-use buildings (see Figure 8).

Private Residential Streets and Alleyways: Private streets that serve the residential villages in the southern part of the Specific Plan project area will be a minimum of 20-feet to 24-feet paved with no on-street parking except in designated areas with perpendicular off-street parking spaces. Street parking will be allowed in areas that have adequate curb-to-curb width (36') and do not affect intersections or site distance requirements. Pedestrian sidewalk paths will be provided in each neighborhood of the village connecting from residential access roads to the main "Promenade Pedestrian Corridor" extending north-south between Planning Area 7 and Planning Area 8.



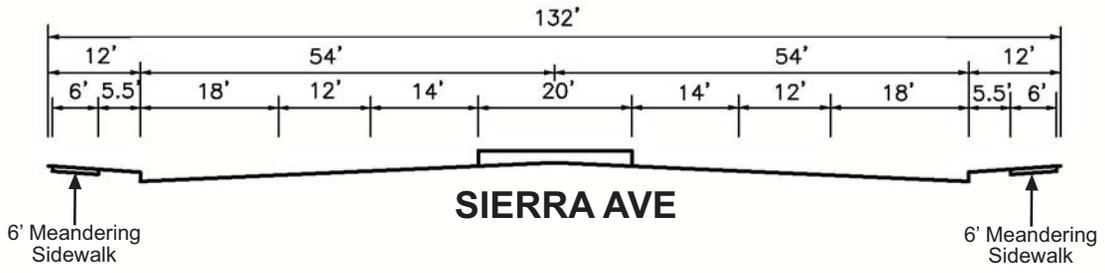
-  = MAJOR (132ft R-O-W)
Sierra Avenue
-  = MODIFIED MAJOR (120ft R-O-W)
Baseline Avenue
-  = PRIMARAY (104ft R-O-W)
South Highland Avenue
-  = COLLECTOR (68ft R-O-W)
Juniper Avenue
-  = MODIFIED COLLECTOR (86ft R-O-W)
Walnut Avenue
-  = LOCAL PRIVATE STREETS (64ft R-O-W)
Tuscana Promenade

Note: All Rights-of-Way at Mid-Block

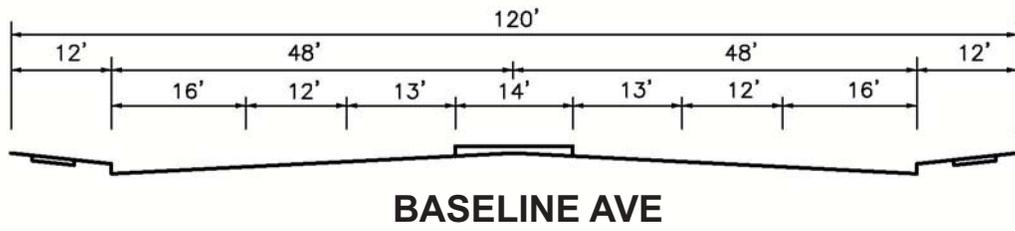
**FIGURE 6
CIRCULATION
MASTER PLAN**



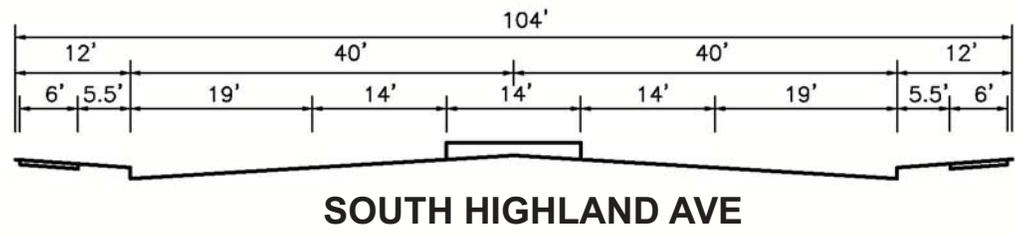
Major Highway - Midblock



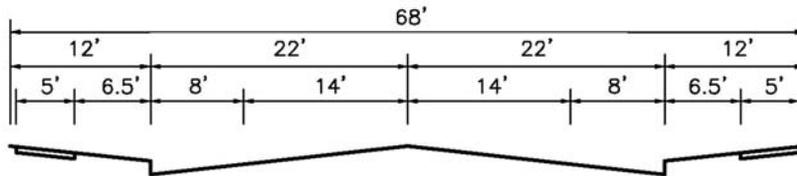
Modified Major Highway



Primary Highway - Midblock

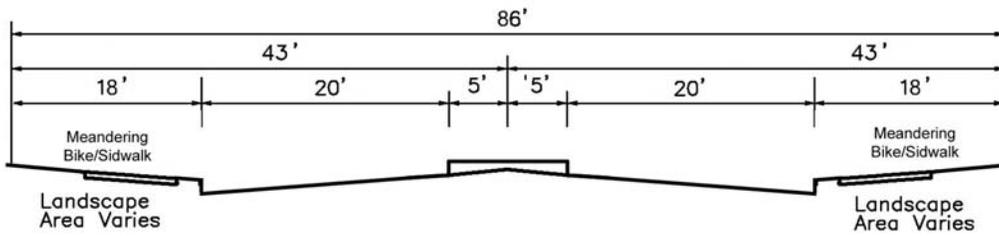


Collector Street - Midblock



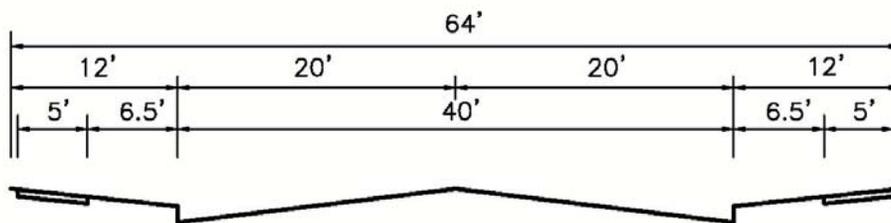
JUNIPER AVE

Modified Collector Street

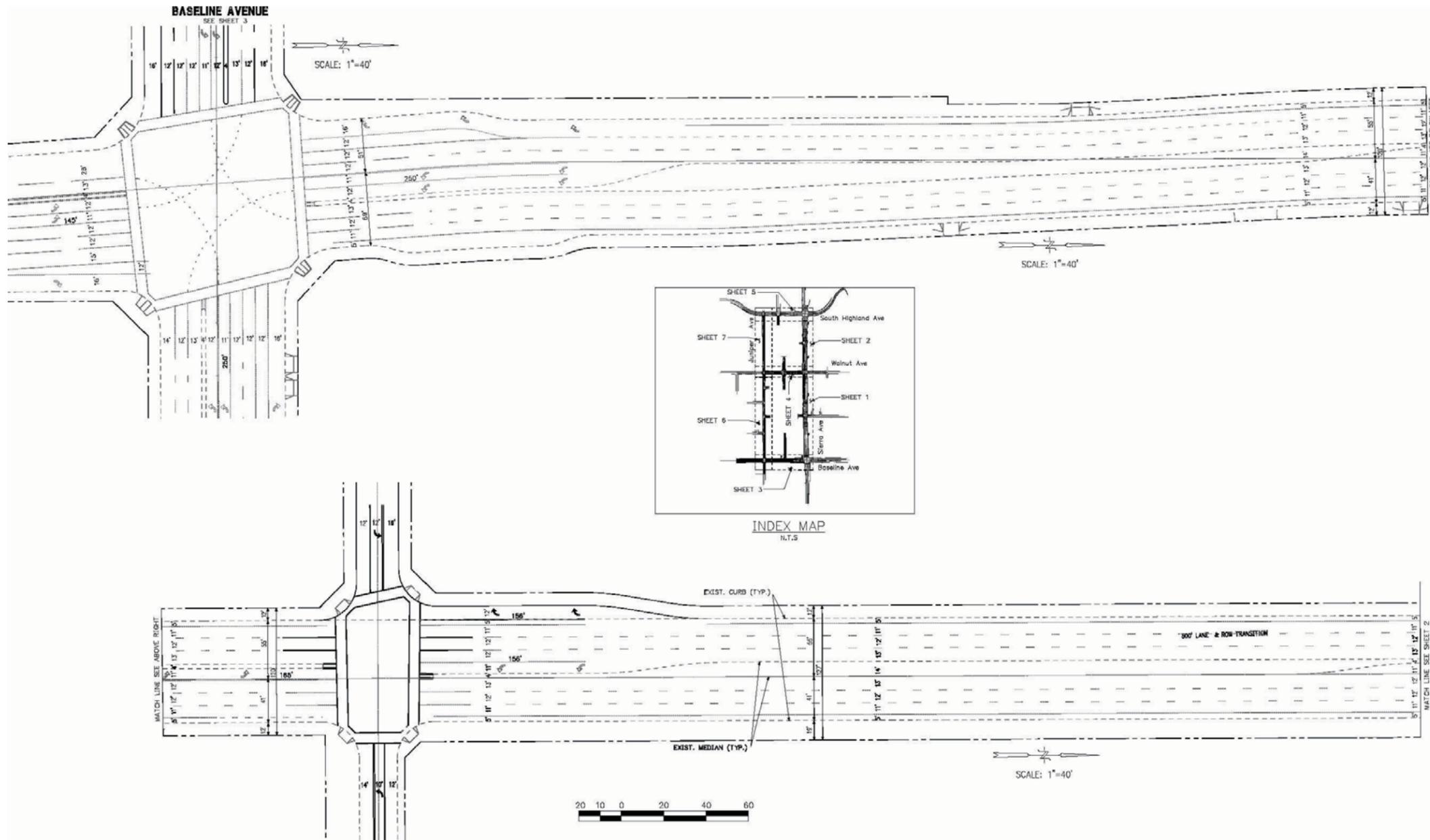


WALNUT AVE

Local Street

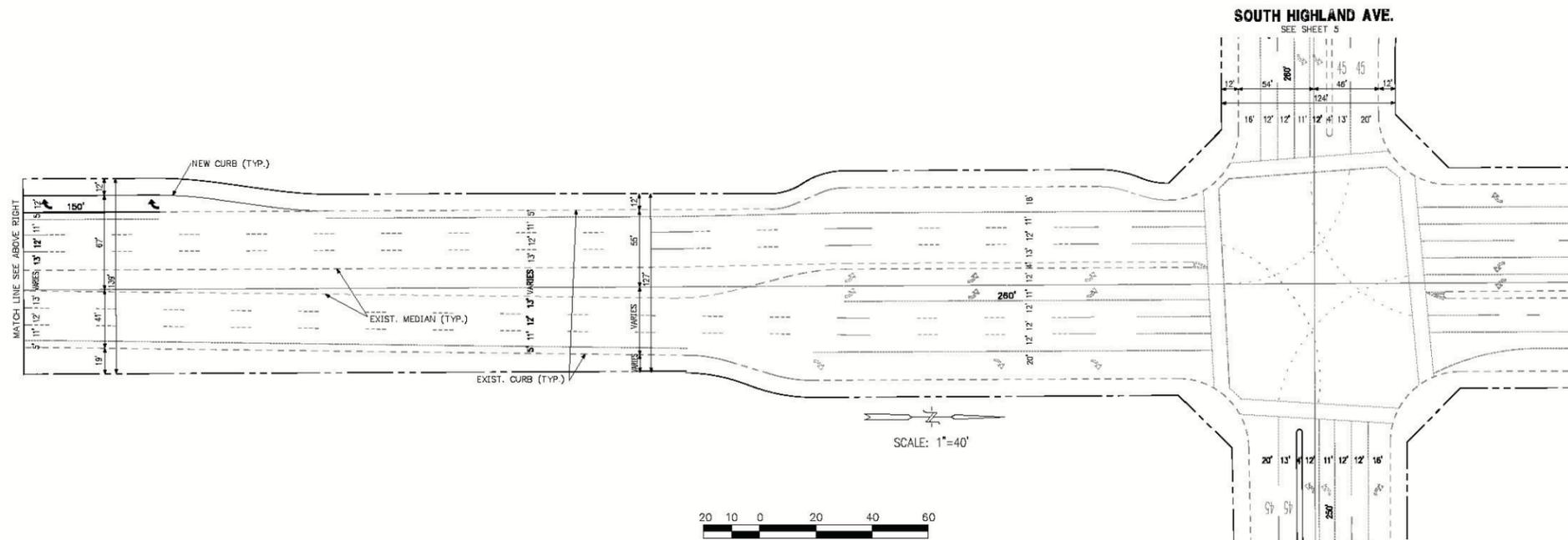
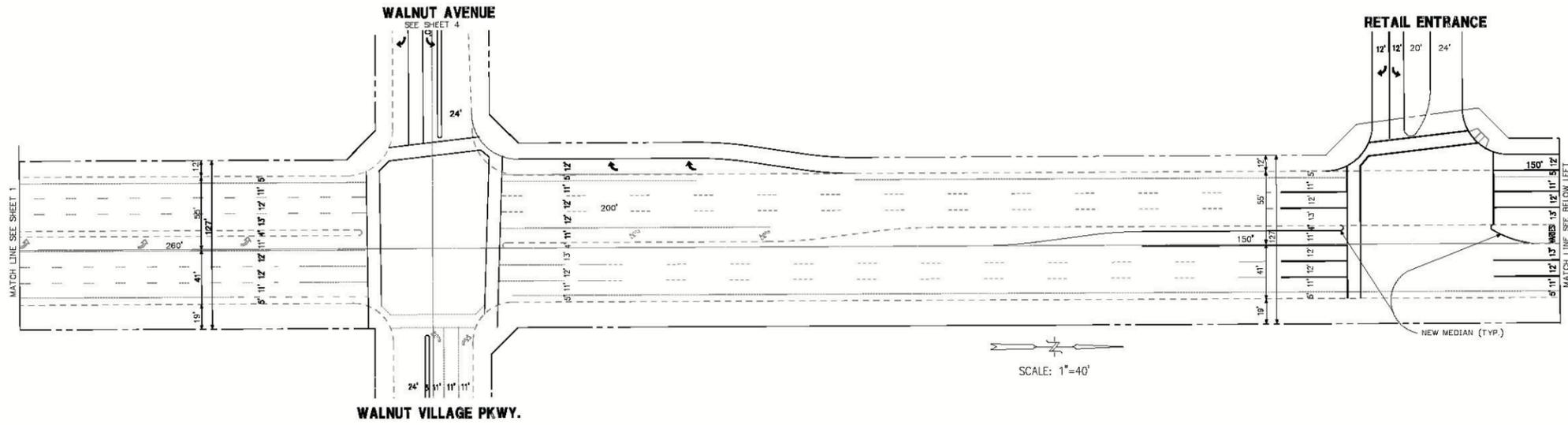


TUSCANA PROMENADE, PONTE LA STRADA,
ENTRATA ST, PRADO ST,



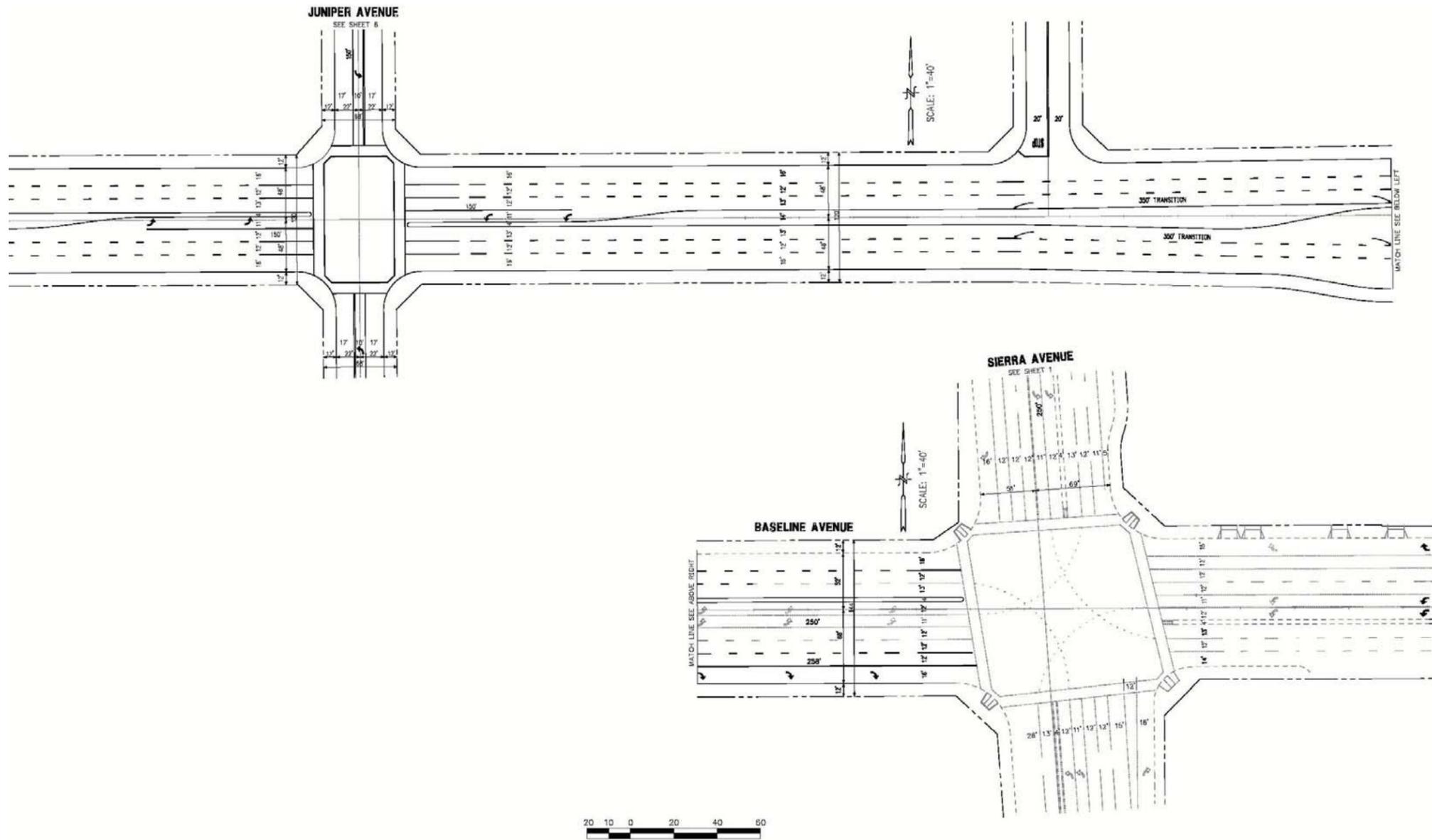
Sierra Avenue From Baseline
Avenue To North of Micallef Street

FIGURE 9a
CIRCULATION
ALIGNMENT STUDY



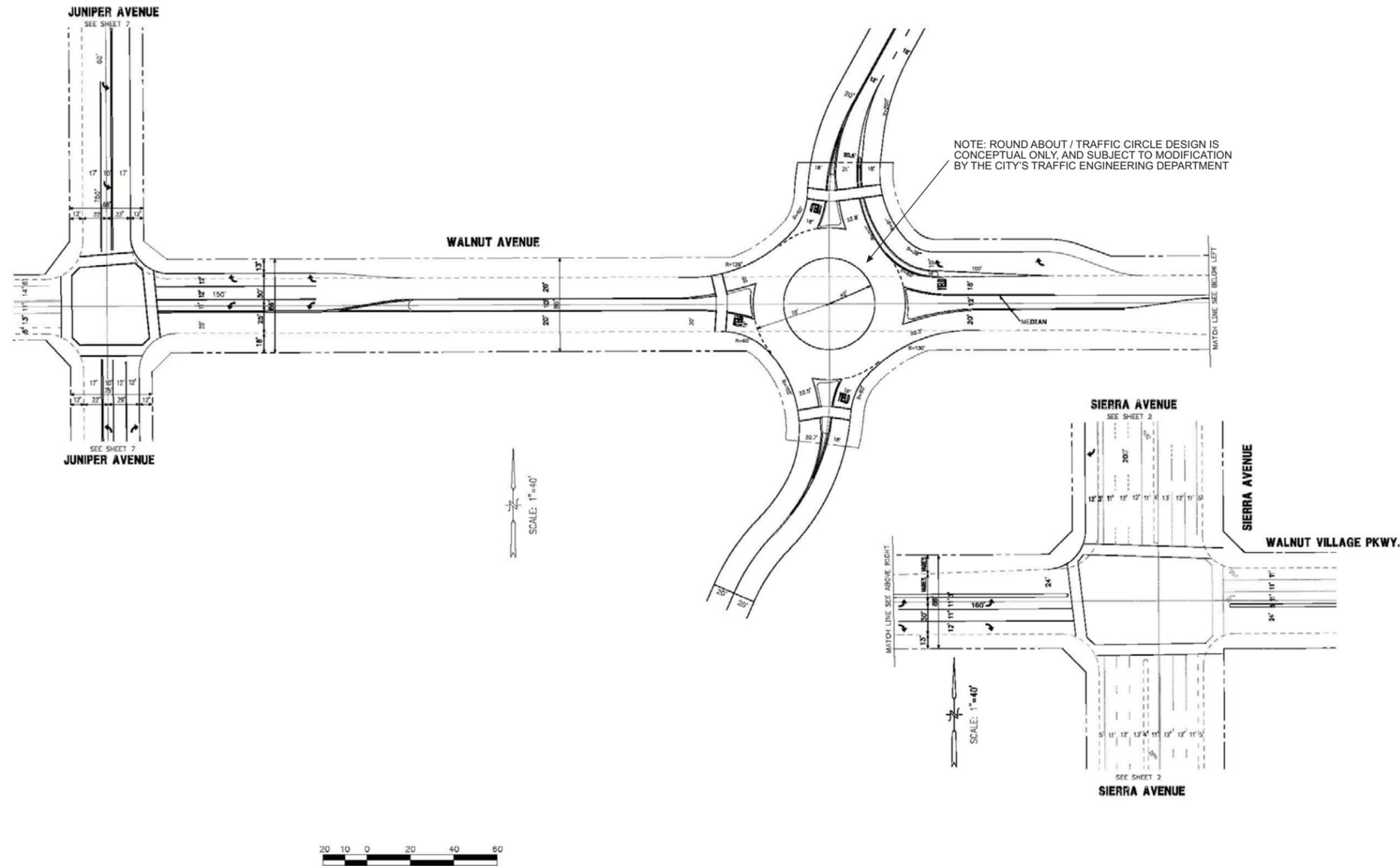
Sierra Avenue From Walnut Avenue
To South Highland Avenue

FIGURE 9b
CIRCULATION
ALIGNMENT STUDY



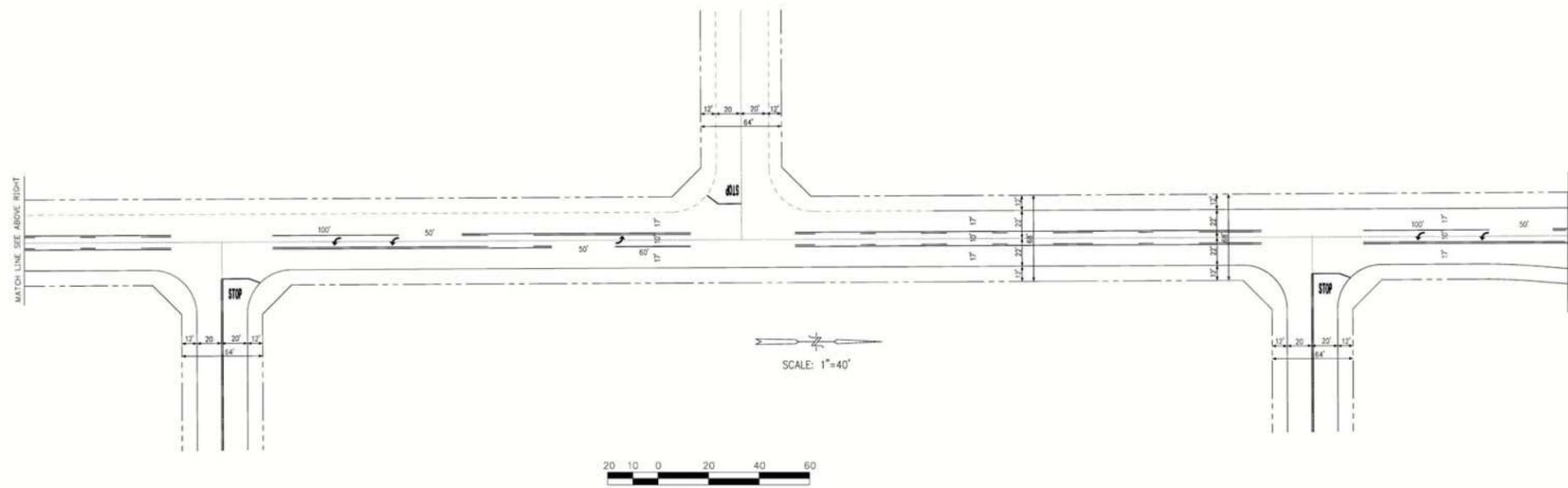
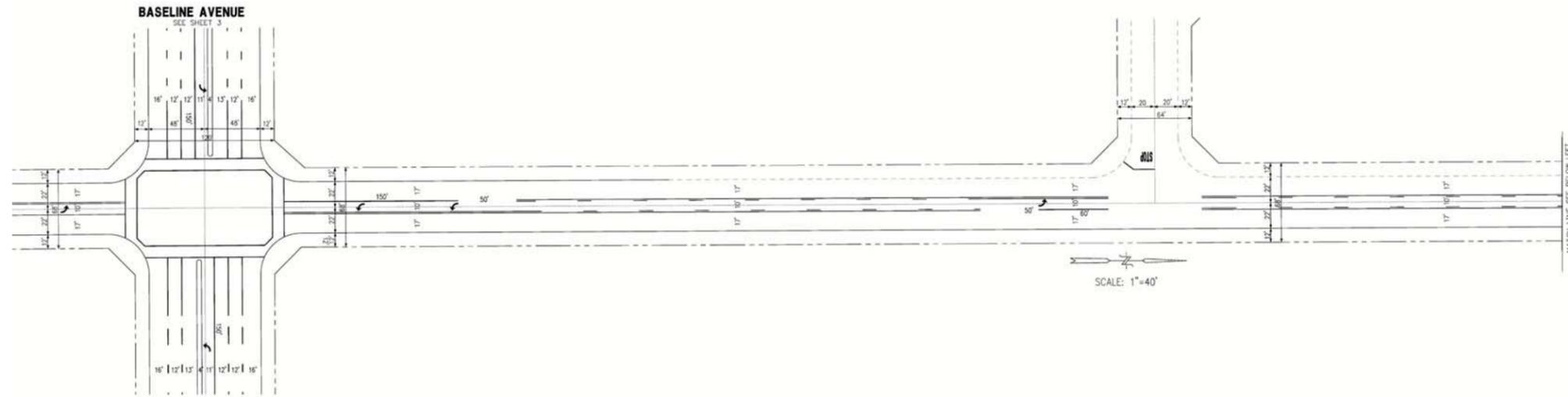
Baseline Avenue From Juniper Avenue To Sierra Avenue

FIGURE 9c
CIRCULATION
ALIGNMENT STUDY



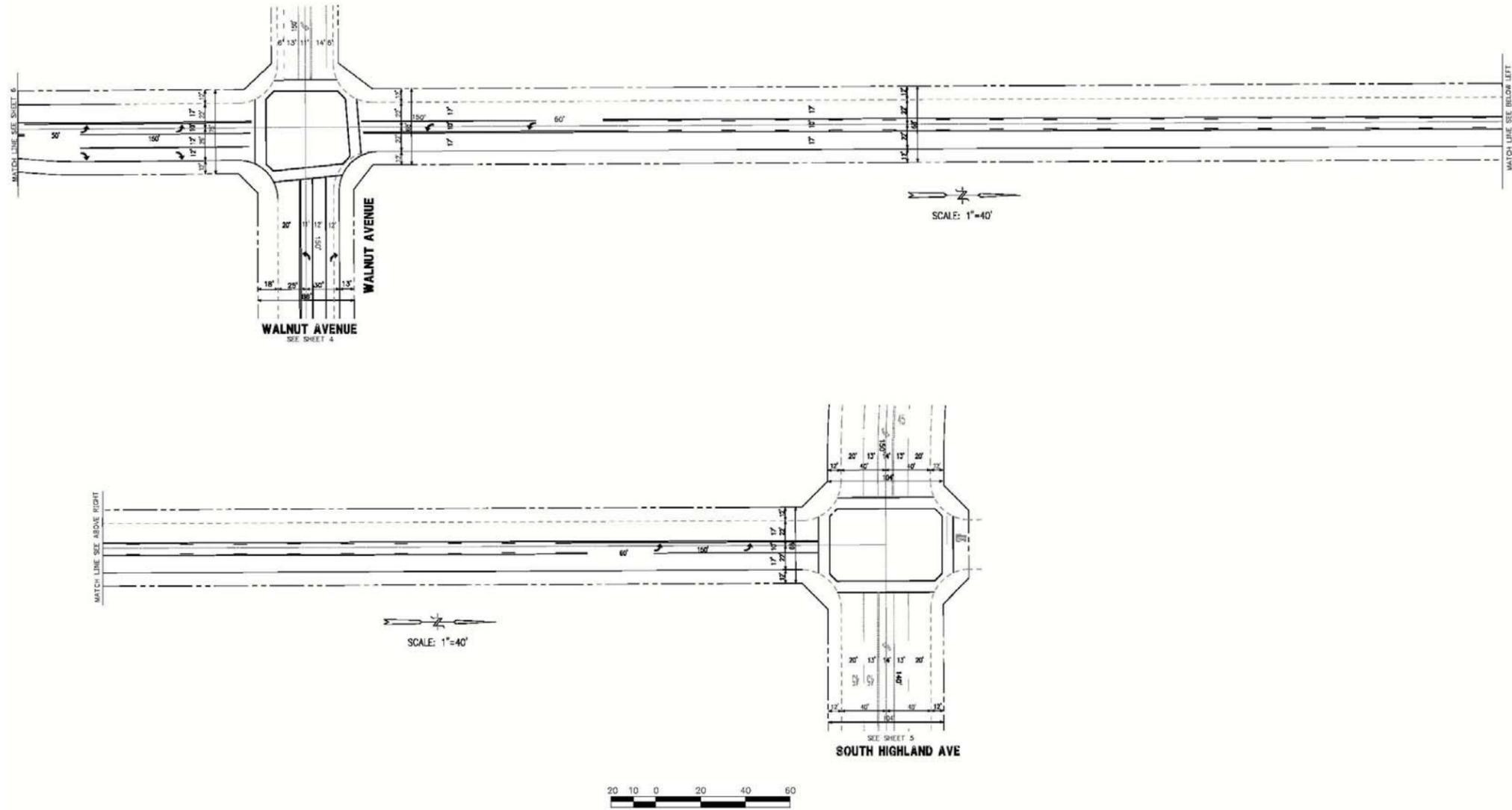
Walnut Avenue From Juniper Avenue To Walnut Village Parkway

**FIGURE 9d
CIRCULATION
ALIGNMENT STUDY**



Juniper Avenue From Baseline
Avenue To Vecchio Street

FIGURE 9f
CIRCULATION
ALIGNMENT STUDY



Juniper Avenue From Walnut Avenue To South Highland Avenue

FIGURE 9g
CIRCULATION
ALIGNMENT STUDY

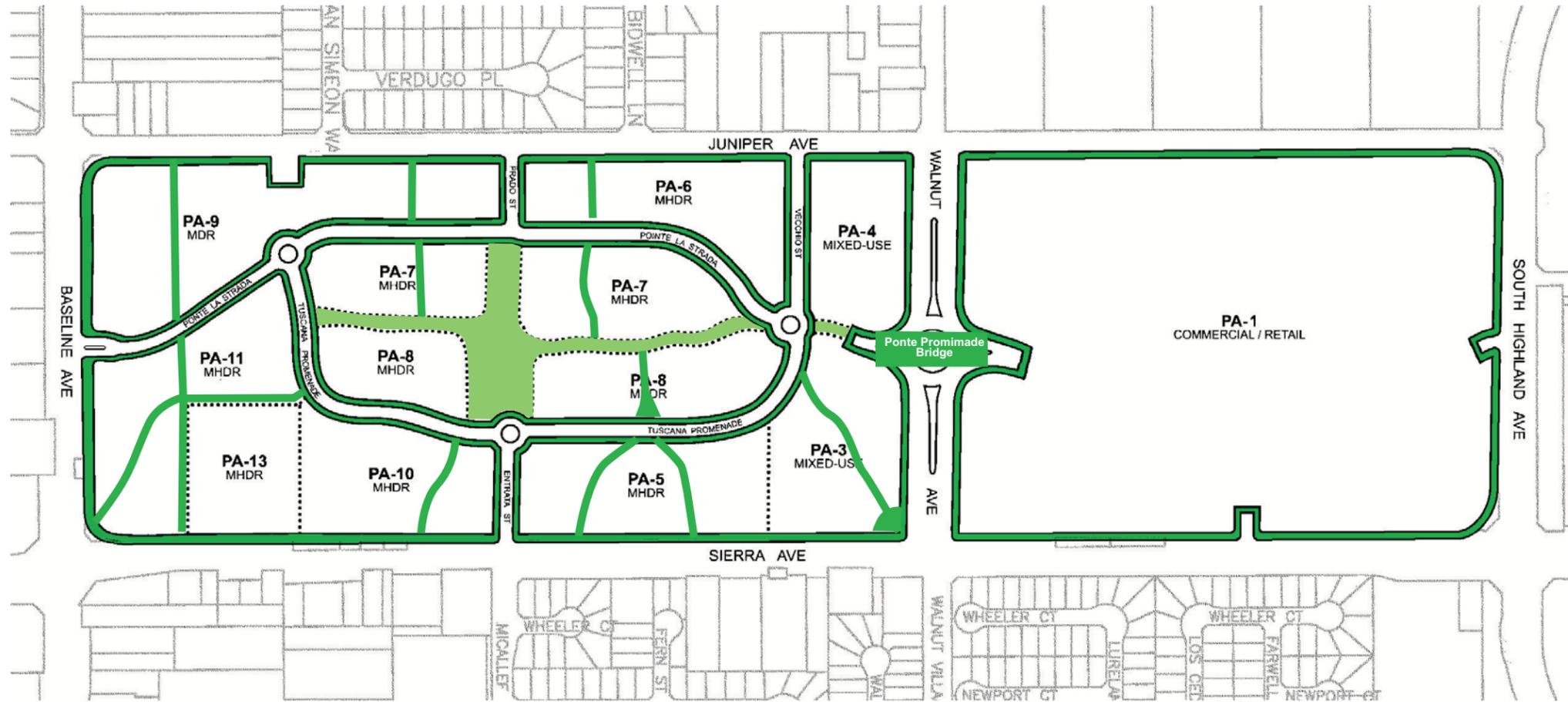
3.3.2 PEDESTRIAN CIRCULATION AND CONNECTIVITY

Convenient and safe pedestrian circulation is a key component within The Promenade Specific Plan. The Land Use Plan establishes a walkable community, where residents adjacent to and near The Promenade Commercial Center are encouraged to leave the car at home and walk or bike to entertainment, shops and restaurants. There are currently a significant number of student pedestrians and bicyclists that use Walnut Avenue, Sierra Avenue and other nearby streets from the Walnut Village Community, just east of The Promenade, through the project site to the AB Miller High School and Wayne Ruble Middle School, just west of The Promenade.

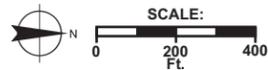
The Promenade Pedestrian Corridor, or “*Ponte Promenade*” is the primary pedestrian circulation route for the southern residential villages and the northern commercial activity center. This curvilinear pedestrian-way will have wide, well-landscaped tree-lined paths for both walking and bicycling that connect all residential villages directly to the *Ponte Promenade* pedestrian bridge. The pedestrian corridors within The Promenade Commercial Center, north of Walnut Avenue, contain pleasant, protected spaces and quality amenities. This includes shaded courtyards and vine covered arbors, fountains and the sounds of flowing water, sculptures and other public art forms, landscaping that provides shade and cooling effects, and other unique features. The design of The Promenade’s pedestrian corridors should meander within well-articulated architectural forms that result in visually interesting spaces. These corridors should be protected from the seasonal winds and noise of the surrounding streets to the greatest extent feasible.

Figure 10 shows the pedestrian corridors with the residential villages that lead up to the Ponte Promenade pedestrian bridge, and the pedestrian-ways within The Promenade Commercial Center, on the north side of the project area.

The City and the Master Developer(s) shall work together to explore the feasibility of constructing a second pedestrian bridge at the intersection of Sierra Avenue and Walnut Avenue for the large number of students that currently go to Wayne Ruble Middle School and A. B. Miller High School, and for those who wish to walk from their homes within the Walnut Village Specific Plan area to The Promenade. Pedestrian corridors for students and residents from Walnut Village on the east side of the Specific Plan project area will be along enhanced parkways adjacent to Walnut Avenue. Special treatments are required at the Round About and Tuscana Promenade to ensure safe pedestrian crossings.



- = OPEN SPACE
- = PEDESTRIAN PATHWAYS



**FIGURE 10
PEDESTRIAN CORRIDOR
PLAN**

3.4 PUBLIC FACILITIES

Water Distribution: Fontana Water Company (FWC) and the West Valley Water District (WVWD) provide water service to the northern area of Fontana. FWC operates a reservoir, transmission mains and local lines serving commercial and residential uses in the area south of the Interstate 210 Freeway. WVWD operates facilities that serve uses located generally east of Sierra Avenue.

Domestic water service to The Promenade will be provided by FWC, and will serve the commercial, residential and common landscape areas of the project. FWC and WVWD have water rights that allow them to draw water for supply to their service areas from stream flows in Lytle Creek, and from a number of wells located within the Chino Groundwater Basin. These companies' water infrastructure consists of reservoirs, storage tanks, booster pumps, and a network of larger transmission main lines and smaller distribution lines to deliver domestic water throughout their service areas. These two water purveyors do not currently offer reclaimed water service to the project area.

The primary connection points available for domestic water service to The Promenade Specific Plan project area are shown in Figure 11, the Water Infrastructure Improvement Plan. This shows water service is available along all streets surrounding the Specific Plan project area. A new 6-inch water line has recently been installed along Walnut Avenue between Sierra Avenue and Juniper Avenue. The proposed water system will include 6-inch and 8-inch distribution lines within the projects internal roadways that will be owned and maintained by the FWC, and will provide for the domestic water needs for all commercial, residential and other water needs. This water system will also supply sufficient fire flows to fire hydrants to be placed within the project area in accordance with San Bernardino County Fire Department and Fontana Fire Department standards.

The FWC has prepared a Water Supply Assessment and an Addendum for The Fontana Promenade Specific Plan. This Assessment and Addendum state that based upon their analysis of historical water supplies, water rights, and the FWC's and Inland Empire Utilities Agency's (IEUA's) Urban Water Management Plans, it has concluded that FWC's available water supplies will be sufficient to meet the water demands in FWC's service area, with the proposed project, for the next twenty years. The master developers for the commercial and residential portions of The Promenade Master Development Plan are responsible for installing the water infrastructure necessary to serve the project site.

Development within the Specific Plan is required to install recycled water line infrastructure to water all landscape areas within the public rights-of-way and on private property, and is required to hook up to recycled water when the infrastructure is within 200 feet of the Specific Plan project area.

Sewer Service: The City of Fontana is responsible for the collection of wastewater within its corporate limits. The City contracts with the Inland Empire Utilities Agency (IEUA), was formerly the Chino Basin Municipal Water District. The remainder of the undeveloped project area will need to be annexed into the service area of the IEUA prior to the recordation of the first final tract map for development.

A 10-inch main sewer line exists within South Highland Avenue between Sierra Avenue and Juniper Avenue, and within Juniper Avenue, between South Highland Avenue and Walnut Avenue. There is also a 10-inch sewer line located within Baseline Avenue between Sierra Avenue and Juniper Avenue. Sewer lines also exist along the northern and southern portion of Sierra Avenue. The City is currently in the process of installing a new 10-inch sewer line within Juniper Avenue from Walnut Avenue down to Baseline Avenue. These trunk sewer lines will provide gravity flow to IEUA's five regional wastewater

treatment facilities. In addition, the Agency owns a co-composting facility and several domestic and industrial trunk sewage lines. It also has four regional water-recycling facilities and the Carbon Canyon Waste Reclamation Facility. There is adequate capacity in the IEUA regional treatment facilities to serve the development proposed within The Promenade Specific Plan.

The proposed sewer plan consists of an extension of the existing sewer main facilities, and is shown in Figure 12, into the project area. The master developer for the commercial and residential portions of The Promenade Master Development Plan is responsible for installing the sewer infrastructure necessary to serve the project site, per the requirements of the City of Fontana Public Works Department. Sewage disposal facilities shall be installed in accordance with the specifications and requirements of the State Department of Health Services, the San Bernardino County Health Department, and the City of Fontana Public Works and Engineering Departments.

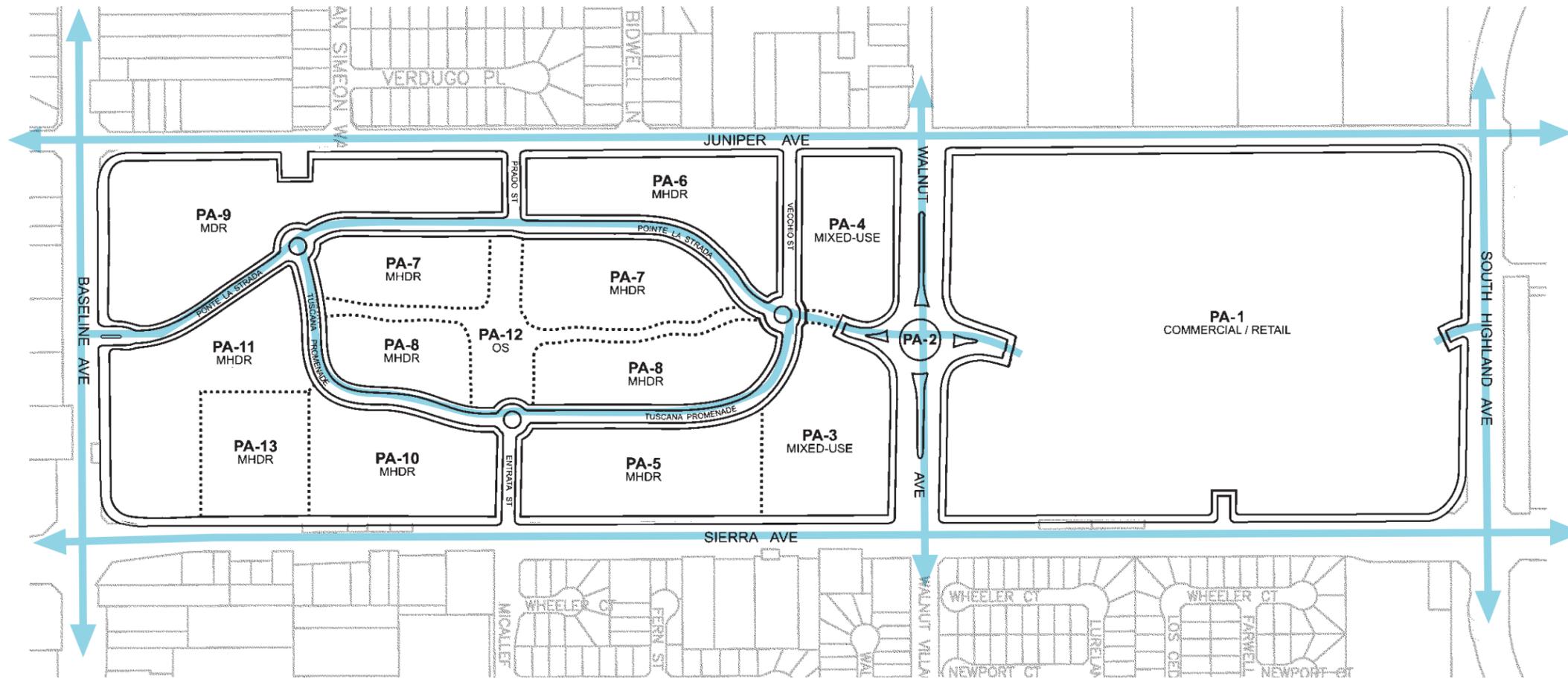
Drainage Plan: The City of Fontana Engineering Department has designed a drainage system to serve The Promenade Specific Plan project area, and is shown in Figure 13, the Storm Drain Improvement Plan. The sites existing topographic relief shows that drainage will generally sheet flow in north-to-south direction. No designated 100-year floodplains are located within the Specific Plan project area.

The City is currently installing storm drains in Juniper Avenue, adjacent to the west side of the project area. Stormwater flows will be directed to this recent infrastructure improvement completed by the City. In addition, due to downstream restrictions on capacity of regional flood control facilities, and required National Pollution Discharge Elimination System (NPDES) requirements, projects will be required to obtain approval of a Water Quality Management Plan (WQMP) prior to tract map approval by the Planning Commission to mitigate development runoff to a level below the predevelopment runoff rate, until such time as proper downstream drainage facilities are in place.

There is currently an interim detention basin that has been recently constructed within the southwest corner of the project area (within Planning Area 7) in conjunction with the drainage improvements that are currently being installed within Juniper Avenue (see Figure 13). This temporary catch basin will be removed after ultimate drainage improvements are completed that serve the project area.

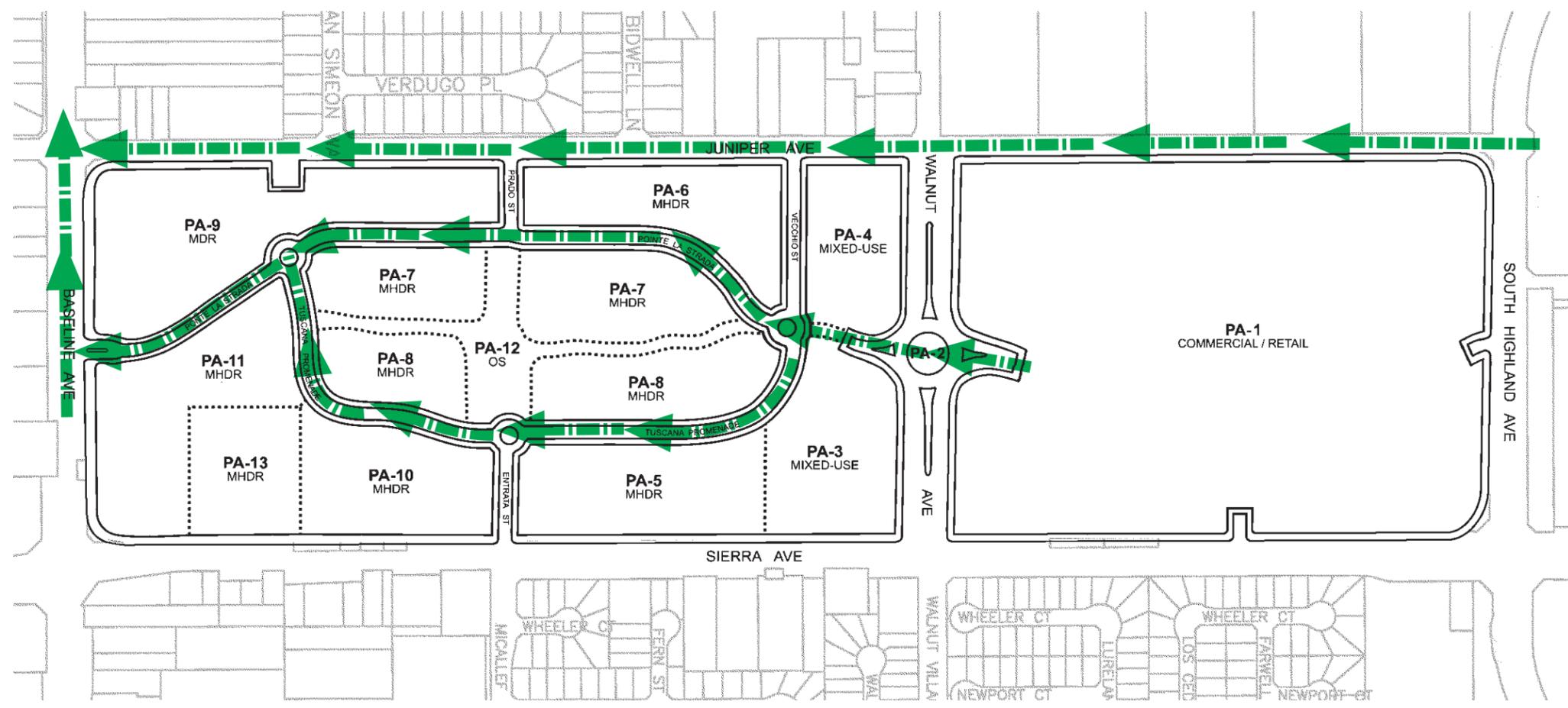
Prior to the approval of any final tract map associated with The Promenade Specific Plan, detailed drainage/hydrology studies and Water Quality Management Plans are required. These studies shall address specific on-site drainage conditions, increased runoff flows, required stormwater retention and water quality associated with future land uses on a subdivision level basis. Drainage facilities within public rights-of-ways are proposed to be maintained by the City of Fontana.

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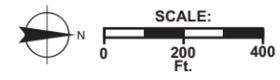


— = 8" WATERLINE

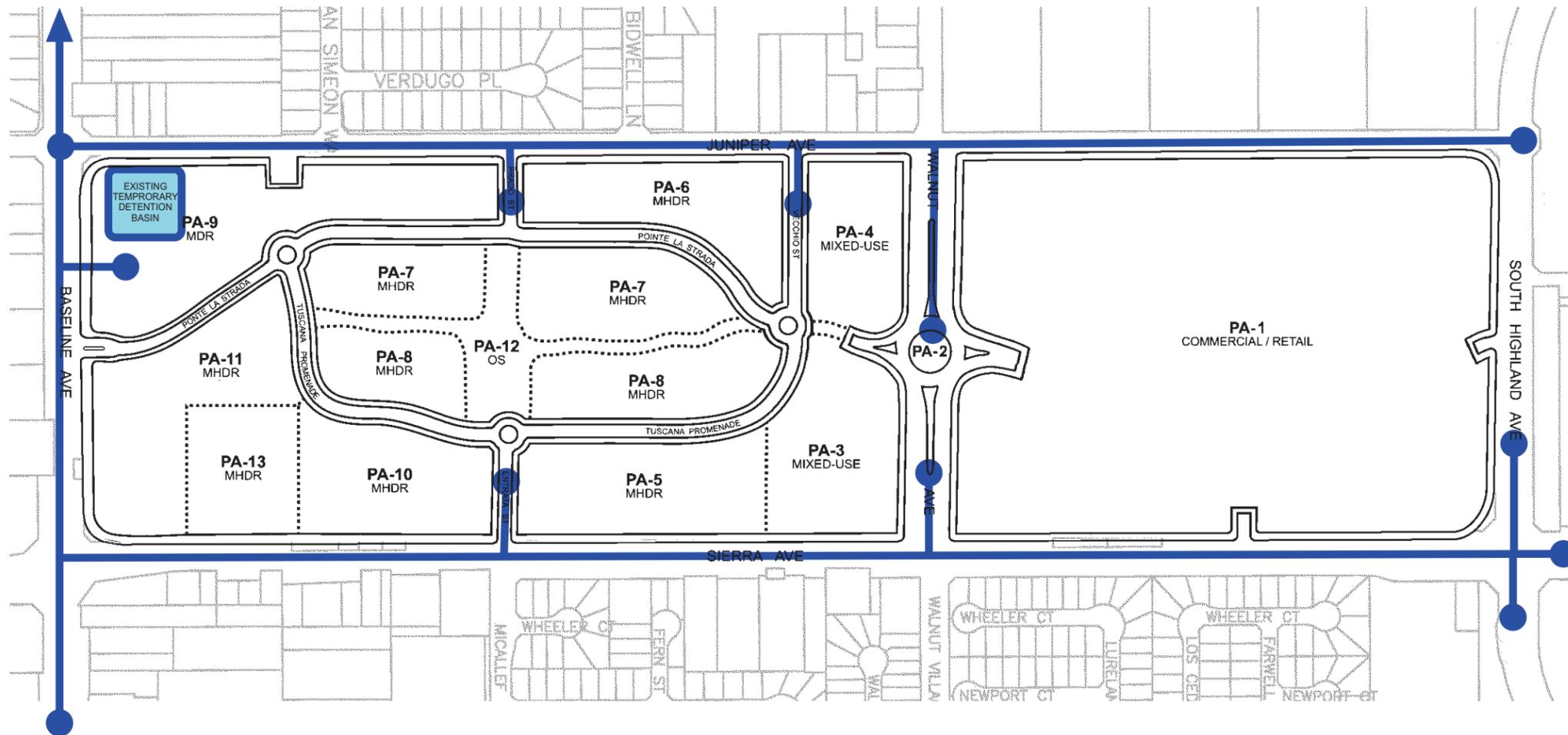
**FIGURE 11
WATER INFRASTRUCTURE
IMPROVEMENT PLAN**



 = 10" SEWER PIPE



**FIGURE 12
 SEWER INFRASTRUCTURE
 IMPROVEMENT PLAN**



 = STORM DRAINS
 (60"-72" PIPES)

**FIGURE 13
 STORM DRAIN
 INFRASTRUCTURE
 IMPROVEMENT PLAN**

3.5 COMMUNITY SERVICES

The following information provides a brief summary of the community services to be provided to The Promenade Specific Plan project area. A more detailed discussion of facilities and service availability is presented in the Environmental Impact Report on the Specific Plan project.

Police and Fire Protection: The Fontana Police Department provides law enforcement for the City, including The Promenade Specific Plan project area. The Fontana Police department is located at Sierra Avenue and Arrow Boulevard. Response time to the project area is from 3 to 5 minutes. Fontana currently maintains a ratio of 1.14 sworn officers per 1,000 residents.

The Fontana Police Department's Crime Prevention Through Environmental Design (CPTED) Guidelines shall be incorporated throughout the Specific Plan project area.

The Central Valley Fire Protection District (CVFPD) provides fire protection to the project area. The CVFPD is part of the San Bernardino County Fire Agency. CVFPD also provides paramedic service in this area. The closest fire station to the project area is Fire Station #78, located at Citrus Avenue, north of Baseline Avenue. The response time from Fire Station #78 is approximately 3 minutes to The Promenade project area.

Public Schools: The Fontana Unified School District (FUSD) serves the student population that will be generated by the residential units within The Promenade Specific Plan. The closest existing elementary schools are Binks Elementary to the southwest, Mango Elementary to the southeast, and Sierra Lakes Elementary to the north. Binks Elementary is scheduled to open in July 2007, and is located at the southeast corner of Baseline Avenue and Cypress Avenue. Wayne Ruble Middle School and A. B. Miller High School are the closest middle school and high school to the Specific Plan project area. The FUSD has requested a twelve acre site within the Specific Plan project area be reserved for a future elementary school.

Prior to the issuance of building permits, school impaction fees must be paid to FUSD based upon student generation rates in effect at the time permits are pulled. The City of Fontana is working with the FUSD to find an appropriate location for an Elementary School to meet future student population needs in this area of the City and School District. Please refer to the EIR on the project for specific information on the estimated student generation created by The Promenade Specific Plan.

Public Library: Library services are provided by the San Bernardino County Library system, Fontana Branch. The Library is currently located at 8334 Emerald Avenue, approximately two miles south of the Specific Plan project area. The existing Library is being relocated adjacent to Fontana City Hall, at Sierra Avenue and farther south at the intersection of Sierra Avenue and Upland Avenue, approximately 1.5 miles south of the project area. This new 95,000 square foot library is under construction and is designated as a "Resource Center" within the San Bernardino County system. It will contain over 300,000 volumes, a 350-seat auditorium, homework, career and literacy centers and the latest educational technology.

Utilities: The Promenade Specific Plan project area will be served by the following utility companies:

Electricity:	Southern California Edison
Natural Gas:	The Gas Company, Sempra Utilities
Solid Waste:	Burrtec Waste Industries

ELEMENTS OF SPECIFIC PLAN

Telephone:	AT&T
Cable Services:	Adelphia

The City of Fontana will be using Southern California Edison Rule 20 funding sources to underground existing overhead utility lines that are currently located along the south side of Walnut Avenue and the west side of Sierra Avenue at an estimated cost of approximately \$2,200,000.

Utility infrastructure from the above sources will be provided to the Specific Plan project area after final tract maps have been approved. The master developers for the commercial and residential portions of the project, the utility companies and the City of Fontana will be responsible for funding portions required utility infrastructure improvements.

3.6 PRELIMINARY PROJECT PHASING

It is anticipated that commercial uses at the northern half of The Promenade Specific Plan project area could be the first phase of development, within Planning Areas 1 and 2. The second phase of development is anticipated to be the residential villages, in Planning Areas 5, 6, 7, 8, 9, 10 and 11, and the residential recreation amenities in Planning Area 12. Later phases of development would be the commercial and mixed-use areas in Planning Areas 3 and 4. The actual date of initial development is dependent upon economic conditions and may not occur until the 2009 to 2010 timeframe, with buildout estimated at 2013 to 2014.

The 80-unit Loveland Sunrise subsidized housing apartments located along Sierra Avenue, close to Baseline Avenue are existing, and will remain as an important housing alternative within the Specific Plan project area.

4.0 DEVELOPMENT REGULATIONS

4.1 GENERAL PROVISIONS

Purpose and Intent: The Development Regulations and Standards contained in this Section are set forth to implement the planning and design concepts of The Promenade Specific Plan. These regulations address site development standards and provide the basic criteria that govern all development within the boundaries of the Specific Plan project area. Future development within the Specific Plan project area is subject to the review processes set forth in Section 6 of this Specific Plan. Any regulation or standard contained in this Section that differs from the City of Fontana Zoning and Development Code shall take precedent over, and supercede the Zoning and Development Code, unless otherwise prohibited. Any regulation or standard of the Zoning and Development Code not covered by this Specific Plan in the areas of site development, administration, review procedures, environmental review, and parking regulations shall apply to this Specific Plan. If discrepancies occur which unreasonably restrict the attainment of the goals, objectives and implementation of this Specific Plan and the Fontana General Plan, a Specific Plan Amendment shall be required. The Development Regulations and Standards set forth in this Section shall be applied to all properties located within the defined boundaries of The Promenade Specific Plan.

Definition of Terms: All words, phrases and terms used within the City of Fontana Zoning and Development Code, Article 1, Division 1, Chapter 30, Section 30-11 shall have the same definitions as provided in The Promenade Specific Plan, unless the context requires clarification by City staff and/or elected and appointed officials. All definitions contained within the City's Zoning and Development Code are incorporated herein by reference.

General Notes: The following General Notes are intended to clarify the Development Regulations and Standards established in this Section of the Specific Plan.

1. The maximum number of residential dwelling units permitted by The Promenade Specific Plan is 801. This includes the existing 80 dwelling units within the Loveland Sunrise Apartments. The approximate number of dwelling units within each residential or mixed use planning area is established by The Promenade Planning Area Summary (Table 2). Each planning area contains an approximate, or potential number of dwelling units. During the refined site planning and tentative tract map stage of design, the actual number of dwelling units allocated to a particular planning area may differ from the number shown in the Planning Area Summary (Table 2). The number of dwelling units in a particular residential planning area may be increased or transferred between residential planning areas, provided that the maximum unit count for the entire Specific Plan area does not exceed 801 dwelling units. The development standards and design guidelines contained in Sections 4 and 5 of this Specific Plan, respectively, will ensure uniformity of the use and design with the overall intent of the master development plan.
2. The maximum amount of commercial square footage permitted by The Promenade Specific Plan is 778,500 square feet. The approximate amount of square footage within each commercial or mixed use planning area is established by The Promenade Planning Area Summary (Table 2). Each planning area contains an approximate, or potential amount of commercial square footage. During the refined site planning and tentative tract map stage of design, the actual amount of commercial square feet allocated to a particular planning area may differ slightly from the amount shown in the Planning Area Summary (Table 2). Up to fifteen percent (15%) of the allowable square footage in the applicable planning area may be added or transferred to another commercial or mixed use planning area, provided that the maximum amount of commercial square feet for the Specific Plan does not exceed 778,500 square feet.

DEVELOPMENT REGULATIONS

3. Minor boundary, density and acreage variations [up to fifteen percent (15%)] in the planning areas shall be permitted, subject to approval by the Director of Community Development, without an amendment to the Specific Plan document being required.
4. Development regulations relating to parking, balconies, porches, room additions, pools, spas and accessory structures that are not included in this Section shall conform to the City of Fontana Zoning and Development Code.
5. Development regulations for recreational vehicle parking in residential planning areas shall be set forth in that area's codes, covenants and restrictions (CC&R's), and shall comply with Fontana Police Department requirements that prohibit RV parking on private streets.
6. Performance standards for noise, vibration, light and glare, odors and electromagnetic interference shall comply with the City of Fontana Municipal Code and General Plan. Any supplemental performance standards shall be set forth in project codes, covenants and restrictions (CC&Rs).
7. Any private streets within the Specific Plan project area shall be permanently reserved and maintained for their intended purpose by a means acceptable to, and enforceable by the City of Fontana. Adequate access for emergency vehicles shall be maintained at all times, and shall comply with Fontana Police Department requirements for California Vehicle Code enforcement on private streets under Fontana City Code 17-38.
8. Table 30-175.A. of the Fontana Zoning and Development Code shall apply regarding the keeping of animals on residential properties; in addition to other project CC&Rs.
9. Section 30-178 of the Fontana Zoning and Development Code shall apply to all private swimming pools, spas and hot tubs.
10. CC&Rs for projects within the Specific Plan project area shall establish recreational vehicle parking requirements on private streets, driveways and parking areas.
11. Key vehicular/pedestrian crosswalks within and adjacent to the Specific Plan project area shall be enhanced with special paving and crossing protection lighting.
12. The Planning Commission must approve the recreational amenities plan for future residential development within the Specific Plan project area through the Design Review process, and/or prior to the approval of any tract maps for residential development. The Design Review process will be guided by the Optional Density Standards for residential amenities.

4.2 DEVELOPMENT REGULATIONS

The following section sets forth development regulations for all land uses within The Promenade Specific Plan. This section has been prepared in compliance with California Government Code Section 65450 and all applicable development and design standards of the City of Fontana Zoning and Development Code, with modifications as permitted by The Promenade Land Use Plan and Development Regulations set forth herein.

All setbacks established in this Section, unless otherwise noted in the following Development Regulations, shall be measured from the property line. Setbacks from public streets shall be measured from outside of the curb (approximately six feet from the curb face).

4.2.1 PLANNING AREA 1 – “C” – COMMERCIAL

Planning Area 1 represents an important “*Gateway*” into Northern Fontana from the recently completed Interstate 210 Freeway at Sierra Highway. The southwest corner of South Highland Avenue and Sierra Avenue is zoned “Commercial”, and provides an important window into the project that will have a distinctive entry feature that sets the tone for a quality development and invites you into “*The Promenade*”. This Planning Area will contain activity-oriented uses that include a theater and other commercial recreation, retail shops, quality restaurants a food court and small kiosks and carts located along the pedestrian promenade. Parking shall be located behind the buildings, away from Sierra Avenue and Walnut Avenue, to create an urban street scene. Planning Area 1 contains approximately 47.8 gross acres and would allow up to 664,000 square feet of commercial development. This Planning Area contains four single residences located along Juniper Avenue, and a Sprint PCS wireless telecommunication facility located close to the intersection of South Highland Avenue and Juniper Avenue.

PERMITTED USES

Principal Permitted Uses:

- 1) Eating Establishments
 - a) Sit-down Restaurants, including Outdoor Seating
 - b) Sit-down Fast Food, including Outdoor Seating
 - c) Food Courts, including Outdoor Seating
 - d) Coffee Houses
 - e) Bakery Goods Store, with all goods sold on premises
 - f) Ice Cream Store
 - g) Juice Drink Store
 - h) Food Carts
- 2) Business and Professional Uses
 - a) Art Galleries & Auctions ancillary to the primary Art Gallery use
 - b) Banks
 - c) Hotels
 - d) Credit Unions
 - e) Opticians with Glasses/Frame Sales
 - f) Pharmacy
 - g) Savings and Loan Institutions
 - h) Studios for Professional Work or Teaching of any form of Fine Art
 - i) Salons and Spas
- 3) Retail Shops and Stores
 - a) Art Supply Store
 - b) Bicycle Shop
 - c) Book Store
 - d) Clothing Store
 - e) Confectionary Store
 - f) Computer Store
 - g) Drug Store without Drive Through
 - h) Electronics Store (TVs, Radios, Stereo Equipment and other small electrical appliances (including repair and installation when incidental to retail sales)
 - i) Florist Shop
 - j) Furniture Store

- k) Garden Furniture and Supply Store
- l) Gift Shop
- m) Hobby Shop
- n) Household Appliance Store
- o) Jewelry Store
- p) Kiosk and Small Cart Retail
- q) Leather Goods Store
- r) Newsstand
- s) Novelties Store
- t) Pet Shop
- u) Photographic Supply Store
- v) Shoe Store
- w) Sporting Goods Store
- x) Stamp and Coin Store
- y) Stationary Store
- z) Video Rental and Sales Store
- aa) Beauty Supply
- 4) Service Establishments
 - a) Barber Shop
 - b) Clothing and Costume Rental and Sales
 - c) Copying, Packaging, Mailing and Notary Services
 - d) Day Spas
 - e) Music and Vocal Instruction
 - f) Photographic Developing and Finishing (must include retail)
 - g) Photographer
 - h) Picture Framing
 - i) Reducing Salons
 - j) Sports Clubs, Gymnasiums and other workout establishments with athletic facilities
 - k) Tailor
 - l) Theaters, Indoor, up to 100,000 square feet in size
 - m) Ticket Agency
 - n) Travel Bureau
- 5) Parking Structures

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Administrative and Professional Offices that do not involve retail trade
- 2) Amusement Establishments
 - a) Arcades with Video, Pinball and other Games
 - b) Billiard Center (Alcoholic beverages allowed)
 - c) Bowling Alley (Alcoholic beverages allowed)
 - d) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
 - e) Night Clubs (Alcoholic beverages allowed)
 - f) Micro-breweries (Alcoholic beverages allowed)
 - g) Cyber Café

- 3) Drug Store with Drive Through
- 4) Hardware Store under 8,000 square feet
- 5) Specialty Grocery Store under 25,000 square feet
- 6) Specialty Beverage Store (Alcohol sales allowed)
- 7) Retail Uses over 20,000 square feet in size (Medium Box Retail)
- 8) Mixed-Use, Including Residential Lofts Above Retail or Office Uses
- 9) Wireless Telecommunication Facilities
- 10) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Individual Retail Uses that Exceed 75,000 square feet Ground Floor Footprint
- 2) Fast Food – Drive-through Restaurants
- 3) Gas Stations
- 4) Grocery Store over 25,000 square feet
- 5) Car Washes
- 6) Auctions
- 7) New and Used Automobile Sales
- 8) Pawn Shops
- 9) Tattoo Parlors
- 10) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

DEVELOPMENT STANDARDS

Maximum Floor Area Ratio: 1.0:1.0 FAR

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Sierra Avenue:	Fifteen Feet (15')	Twenty-five Feet (25')
2) Setback from South Highland Avenue:	Fifteen Feet (15')	Ten Feet (10')
3) Setback from Walnut Avenue:	Fifteen Feet (15')	Ten Feet (10')
4) Setback from Juniper Avenue	Ten Feet (10')	Five Feet (5')
5) Setback From Round About:	Ten Feet (10')	Twenty-five Feet (25')
6) Building Separation Requirement:	None	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to approval by the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses.
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces is sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Up to twenty-eight (28) parking spaces shall be provided for the retail uses located in Planning Area 2. The actual number of spaces can be adjusted by the Director of Community Development, based upon the actual square footage ultimately developed in Planning Area 2, and by joint reciprocal use of parking facilities.
- 5) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 6) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.
- 7) Parking is required to be located behind buildings to create an urban street scene.

Hardscape/Landscaping:

- 1) All commercial development shall comply with Sections 30-302, 30-304 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) “The Fontana Promenade” Logo is encouraged to be used in hardscape treatments.

Monumentation:

- 1) The southwest corner of Sierra Avenue and South Highland Avenue is considered an important “Gateway” into North Fontana and The Promenade Specific Plan project area. This corner is required to have a special design treatment that includes an arched entrance statement, fountain(s), landscaping and hardscape that establishes a quality design statement consistent with the Specific Plan Design Guidelines and a Tuscan/Mediterranean design theme.
- 2) Monumentation and edge treatments along Sierra Avenue shall use stacked stone wherever feasible, consistent with Tuscan/Mediterranean design and construction practices.
- 3) Tower features with stacked stone shall be included on buildings to enhance the Tuscan design theme.
- 4) Monumentation shall comply with sight distance setback requirements along all public and private streets, as required by the Traffic Engineering Department.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8’) in height, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.

- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.4 PLANNING AREA 2 – “C” COMMERCIAL

Planning Area 2 is the focal point of activity for *The Promenade* and is zoned “Commercial”. It contains the “Round About” traffic circle with the “*Ponte Promenade*” pedestrian bridge over the Round About that ties Planning Area 1, 3 and 4 together on both sides of Walnut Avenue. A “*campanile*” tower feature approximately 80 to 100 feet tall would be located in the center of the Round About and bridge. It will be visible throughout the project area and beyond. Direct pedestrian access would be provided to all three abutting planning areas. Small shops would overhang the bridge and individual kiosks and carts would line the *Ponte Promenade*. Additional commercial uses would tie directly into the adjacent commercial and mixed use planning areas. Food court uses would also be encouraged. The Round About allows easy, grade separated vehicle access to both the northern and southern sections of the commercial activity center. Planning Area 2 contains approximately 2.6 gross acres, which includes the Walnut Avenue right-of-way, the Round About, the “*Ponte Promenade*” pedestrian bridge and the “*campanile*” tower feature. Up to 10,000 square feet of retail commercial development is allowed within this Planning Area. The area adjacent to Walnut Avenue is currently vacant land.

PERMITTED USES

Principal Permitted Uses:

- 1) Sit-down Restaurants, including Outdoor Seating
- 2) Sit-down Fast Food, including Outdoor Seating
- 3) Food Courts, including Outdoor Seating
- 4) Coffee Houses
- 5) Retail Shops
- 6) Kiosk and Small Cart Retail
- 7) Book Stores
- 8) Newsstands
- 9) Art Galleries and Auctions ancillary to the Art Gallery use
- 10) “*Campanile*” Tower Feature
- 11) Wireless Telecommunication Facilities

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 2) Night Clubs (Alcoholic beverages allowed)
- 3) Arcades with Video Games
- 4) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Fast Food – Drive-through Restaurants
- 2) Gas Stations
- 3) Car Washes
- 4) Auctions
- 5) New and Used Automobile Sales
- 6) Pawn Shops
- 7) Tattoo Parlors
- 8) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

DEVELOPMENT STANDARDS

Maximum Floor Area Ratio: 1.0:1.0 FAR

Minimum Building and Parking Setbacks:

	<u>Buildings</u>	<u>Parking</u>
1) Setback from Walnut Avenue:	None	N/A
2) From Round About/Traffic Circle:	None	N/A
3) Building Separation Requirement:	None	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) The "Campanile" tower feature in the middle of the Round About can be up to 100 feet tall
- 3) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to approval of the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: None
- 2) Minimum Lot Width: None
- 3) Minimum Lot Depth: None
- 4) Maximum Lot Coverage: One Hundred Percent (100%)

Off-Street Parking and Circulation:

- 1) Uses within Planning Area 2 are exempted from the requirements of Article XI, Division 2., Table 30-314A of the Zoning and Development Code and shall rely on reciprocal parking located in Planning Areas 1, 3, and 4.
- 2) Walnut Avenue shall have a minimum right-of-way of eighty-six feet (86').
- 3) The Ponte Promenade pedestrian bridge shall provide a minimum 15' 0" vertical clearance for vehicles traveling along Walnut Avenue.

Hardscape/Landscaping:

- 1) Uses within Planning Area 2 are exempted from the requirements of Article X of the Zoning and Development Code.
- 2) Potted plants are required in front of all shops and stores within Planning Area 2.
- 3) “The Fontana Promenade” Logo is encouraged to be used within hardscape treatments.

Monumentation:

- 1) This Planning Area shall contain a “Campanile” tower feature up to 100 feet tall as the project’s primary focal point and monument. Wireless telecommunication facilities are a permitted use within this tower feature.
- 2) Monumentation and edge treatments along Walnut Avenue shall use stacked stone wherever feasible, consistent with Tuscan/Mediterranean design and construction practices.
- 3) Tower features with stacked stone shall be included on buildings to enhance the Tuscan design theme.
- 4) Monumentation shall comply with sight distance setback requirements along all public and private streets, as required by the Traffic Engineering Department.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific plan Design Guidelines set forth herein. Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8’) in height, unless approved by the Director of Community Development.
- 2) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 3) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) The “Campanile” tower feature shall have special lighting that enhances its function as the project’s primary focal point and monument.
- 3) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 4) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.3 PLANNING AREA 3 – “M-U” Mixed-Use

Planning Area 3 is zoned “Mixed-Use” and is located next to the Round About and Ponte Promenade pedestrian bridge, on the south side of Walnut Avenue, west of Sierra Avenue. It allows for vertical mixed-use development that includes commercial, office professional and residential uses. Planning Area 3 will be developed with ground floor retail and office professional uses, with second- or third-story residential lofts above, allowing a unique, urban living environment currently not available in Fontana or anywhere in the surrounding region. Also encouraged is development of a Sports Club, Fitness Centers, Spas, Salons and other related uses. A hotel is also a permitted use. Parking shall be located behind the buildings, away from Sierra Avenue and Walnut Avenue, to create an urban street scene. A pedestrian bridge connection shall be provided into this Planning Area, or into Planning Area 4 from Planning Area

DEVELOPMENT REGULATIONS

2. This Planning Area contains approximately 6.0 gross acres and would allow up to 70,000 square feet of commercial development and up to twelve (12) residential lofts. This Planning Area is currently vacant land.

PERMITTED USES

Principal Permitted Uses:

- 1) Sports Clubs
- 2) Fitness Centers
- 3) Health Spas
- 4) Beauty Salons
- 5) Hotel
- 6) Banks, Savings and Loan Institutions and Credit Unions
- 7) Sit-down Restaurants, including Outdoor Seating
- 8) Sit-down Fast Food, including Outdoor Seating
- 9) Food Courts, including Outdoor Seating
- 10) Coffee Houses
- 11) Kiosk and Small Cart Retail
- 12) Book Stores
- 13) Administrative and Professional Offices that do not involve a retail sales
- 14) Residential Lofts (For sale or for rent)
- 15) Parking Structures

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Amusement Establishments
 - a) Arcades with Video, Pinball and other Games
 - b) Billiard Center (Alcoholic beverages allowed)
 - c) Bowling Alley (Alcoholic beverages allowed)
 - d) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
 - e) Night Clubs (Alcoholic beverages allowed)
 - f) Micro-breweries (Alcoholic beverages allowed)
 - g) Cyber Café
- 2) Hardware Store under 8,000 square feet
- 3) Specialty Grocery Store under 18,000 square feet
- 4) Specialty Beverage Store (Alcohol sales allowed)
- 5) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Fast Food – Drive-through Restaurants
- 2) Gas Stations
- 3) Car Washes
- 4) Auctions
- 5) New and Used Automobile Sales

- 6) Pawn Shops
- 7) Tattoo Parlors
- 8) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

DEVELOPMENT STANDARDS

Maximum Floor Area Ratio: 1.0:1:0 FAR, Maximum of 12 Residential Dwelling Units.

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Sierra Avenue:	Fifteen Feet (15')	Twenty-five Feet (25')
2) Setback from Walnut Avenue:	Ten Feet (10')	Sixty Feet (60')
3) From Round About/Traffic Circle:	None (0')	Sixty Feet (60')
4) Setback from Interior Alley/Driveways:	Five Feet (5')	Five Feet (5')
5) Building Separation Requirement:	None	N/A

* Pedestrian bridges may encroach into any setback area

Maximum Building Height:

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to approval of the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Up to twelve (12) parking spaces shall be provided for the retail uses located in Planning Area 2. The actual number of spaces can be adjusted by the Director of Community Development, based upon the actual square footage ultimately developed in Planning Area 2, and by joint reciprocal use of parking facilities.
- 5) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 6) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.
- 7) Parking is required to be located behind buildings, set back from Sierra Avenue and Walnut Avenue, to create an urban street scene.

Hardscape/Landscaping:

- 1) All commercial development shall comply with Sections 30-302, 30-304 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) “The Fontana Promenade” Logo is encouraged to be used in hardscape treatments.

Monumentation:

- 1) Monumentation and edge treatments along Sierra Avenue and Walnut Avenue shall use stacked stone wherever feasible, consistent with Tuscan/Mediterranean design and construction practices.
- 2) Tower features with stacked stone shall be included on buildings to enhance the Tuscan design theme.
- 3) Monumentation shall comply with sight distance setback requirements along all public and private streets, as required by the Traffic Engineering Department.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8’) in height, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.4 PLANNING AREA 4 – “M-U” MIXED USE

This Planning Area is zoned “Mixed Use” and is located at the southeast corner of Walnut Avenue and Juniper Avenue. It allows for a vertical mixed-use development that includes commercial, office professional and residential uses. Adjacent uses to the west consist primarily of existing single-family homes and developing tracts of new single-family homes. Planning Area 4 will be developed with ground floor retail and office professional uses, with second- or third-story residential lofts above, allowing a unique, urban living environment currently not available in Fontana or anywhere in the surrounding region. Secured parking areas for residents and office professional uses would be provided at or below grade, adjacent to the mixed-use building. Parking shall be located behind the buildings, away from Juniper Avenue and Walnut Avenue, to create an urban street scene. A pedestrian bridge connection shall be provided into this Planning Area, or into Planning Area 3 from Planning Area 2. This Planning

DEVELOPMENT REGULATIONS

Area has approximately 4.0 gross acres and would allow for up to 34,500 square feet of commercial development and up to fifty-six (56) residential lofts. This land is currently vacant.

PERMITTED USES

Principal Permitted Uses:

- 1) Administrative and Professional Offices that do not involve retail trade
- 2) Banks and Savings and Loan Institutions
- 3) Sit-down Restaurants, including Outdoor Seating
- 4) Sit-down Fast Food, including Outdoor Seating
- 5) Food Courts, including Outdoor Seating
- 6) Retail Shops
- 7) Kiosk and Small Cart Retail
- 8) Book Stores
- 9) Art Galleries and Auctions ancillary to the Art Gallery use
- 10) Residential Lofts and or Live/Work Units (For sale units)
- 11) Parking Structures

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 2) Night Clubs (Alcoholic beverages allowed)
- 3) Micro-breweries (Alcoholic beverages allowed)
- 4) Salons and Spas
- 5) Residential Lofts (For rent)
- 6) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Fast Food – Drive-through Restaurants
- 2) Gas Stations
- 3) Car Washes
- 4) Auctions
- 5) New and Used Automobile Sales
- 6) Pawn Shops
- 7) Tattoo Parlor.
- 8) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

DEVELOPMENT STANDARDS

Floor Area Ratio/Maximum Density: 1.0:1.0 FAR, Maximum of 56 Residential Dwelling Units

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Juniper Avenue:	Ten Feet (10')	Ten Feet (10')
2) Setback from Walnut Avenue:	Fifteen Feet (15')	Ten Feet (10')
3) Setback from Tuscana Promenade:	Ten Feet (10')	Ten Feet (10')
4) Setback from Interior Alley/Driveways:	Three Feet (3')	Five Feet (5')
5) From Round About/Traffic Circle:	Fifteen Feet (15')	Five Feet (5')
6) Building Separation Requirement:	None	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval of the Director of Community Development.

Residential Unit Size Requirements:

- 1) Minimum Unit Size: Subject to Design Review Approval
- 2) Maximum Density: Up to fifty-six (56) Dwelling Units

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces is sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Up to twelve (12) parking spaces shall be provided for the retail uses located in Planning Area 2. The actual number of spaces can be adjusted by the Director of Community Development, based upon the actual square footage ultimately developed in Planning Area 2, and by joint reciprocal use of parking facilities.
- 5) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 6) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.
- 7) Parking is required to be located behind buildings, set back from Juniper Avenue and Walnut Avenue, to create an urban street scene.

Hardscape/Landscaping:

- 1) All commercial development shall comply with Sections 30-302, 30-304 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.

- 3) “The Fontana Promenade” Logo is encouraged to be used in hardscape treatments.

Monumentation:

- 1) Monumentation and edge treatments along Walnut Avenue and Juniper Avenue shall use stacked stone wherever feasible, consistent with Tuscan/Mediterranean design and construction practices.
- 2) Tower features with stacked stone shall be included on buildings to enhance the Tuscan design theme.
- 3) Monumentation shall comply with sight distance setback requirements along all public and private streets, as required by the Traffic Engineering Department.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height, unless approved by the Director of Community Development, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.5 PLANNING AREA 5 – “MHDR” Medium-HIGH DENSITY RESIDENTIAL

This residential Planning Area is zoned “Medium-High Density Residential”. This residential Planning Area is located along Sierra Avenue, between the proposed Entrata Street and the Planning Area 3 commercial site. The area will feature medium-high density town homes or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height. Units would be for sale homes and/or for rent apartments, and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area contains about 6.0 gross acres, enabling the development of approximately 96 dwelling units. This area currently contains a YMCA Preschool Facility. The remainder of this Planning Area is vacant.

PERMITTED USES

Principal Permitted Uses:

- 1) Multi-family Residential Condominiums, Townhomes and/or Apartments (for sale and/or for rent units)
- 2) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 3) Private Recreation Facilities
- 4) Pedestrian Paseos
- 5) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with principal the permitted residential use.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential use.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 18 dwelling units per acre, Maximum of 96 units

Minimum Building and Parking Setbacks:

	<u>Building</u>	<u>Parking</u>
1) Setback from Sierra Avenue:	Fifteen Feet (15')	Twenty-five Feet (25')
2) Setback from Tuscana Promenade:	Ten Feet (10')	Ten Feet (10')
3) Setback from Interior Alley/Driveways:	Three Feet (3')	Five Feet (5')
4) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed fifty feet (50') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval of the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Building Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Hardscape/Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) "The Fontana Promenade" Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guideline set forth herein.
- 2) Walls and fences shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.6 PLANNING AREA 6 – “MHDR” MEDIUM HIGH DENSITY RESIDENTIAL

Planning Area 6 is located along Juniper Avenue, between the proposed Prado and Vecchio Streets and across from Planning Area 7. The area will feature medium-high density town homes or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height. All units would be for sale homes and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area contains about 5.6 gross acres, enabling the development of approximately 78 dwelling units. This Planning Area is currently vacant land.

PERMITTED USES

Principal Permitted Uses:

- 1) Multi-family Residential Condominiums and Townhomes
- 2) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Pedestrian Paseos
- 4) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with the principal permitted residential use.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential use.

Prohibited Uses:

- 2) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 18 dwelling units per acre, Maximum of 78 units

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Juniper Avenue:	Ten Feet (10')	Ten Feet (10')
2) Setback from Toscana Promenade:	Ten Feet (10')	Ten Feet (10')
3) Setback from Vecchio Street:	Ten Feet (10')	Ten Feet (10')
4) Setback from Prado Street:	Ten Feet (10')	Ten Feet (10')
5) Setback from Interior Alley/Driveways:	Three Feet (3')	Five Feet (5')
6) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 2) Buildings and other structures shall not exceed forty-five feet (45') in height.
- 3) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval of the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Hardscape/Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) "The Fontana Promenade" Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guideline set forth herein.
- 2) Walls and fences shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.

- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.7 PLANNING AREA 7 – “MHDR” MEDIUM HIGH DENSITY RESIDENTIAL

Planning Area 7: Planning Area 7 is located in the middle of The Promenade’s residential village. The land is split into two development areas by an open space park area centrally located in the specific plan. The northerly development area is located at the intersection of proposed Prado Street and Ponte La Strada and the southerly area at the intersection of Tuscana Promenade and Ponte La Strada. Both sites are considered one neighborhood within the village and will be considered collectively to determine density. Planning Area 7 will contain medium-high density town homes that are up to 18 dwelling units per acre and two- to three-stories in height. All units would be for sale homes and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area collectively contains about 7.8 gross acres, enabling the development of approximately 103 dwelling units.

PERMITTED USES

Principal Permitted Uses:

- 1) Multi-family Residential Condominiums and Townhomes
- 2) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Pedestrian Paseos
- 4) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 18 dwelling units per acre, Maximum of 103 units

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Ponte La Strada:	Ten Feet (10')	Ten Feet (10')
2) Setback from Toscana Promenade:	Ten Feet (10')	Ten Feet (10')
3) Setback from Interior Alley/Driveways:	Three Feet (3')	Five Feet (5')
4) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed forty feet (40') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval of the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Hardscape/Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) "The Fontana Promenade" Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guideline set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.

- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.8 PLANNING AREA 8 – “MHDR” MEDIUM HIGH DENSITY RESIDENTIAL

Planning Area 8: Planning Area 8 is located in the middle of The Promenade’s residential village. The land is split into two development areas by an open space park area centrally located in the residential portion of the specific plan. The northerly development area is located at the intersection of proposed Entrata Street and Tuscana Promenade. The southerly area is located near the southern terminus of Tuscana Promenade just south of the proposed Entrata Street and south of the proposed open space park. Both sites are considered one neighborhood within the village and will be considered collectively to determine density. Planning Area 8 will contain medium-high density, condominium clusters that are up to 14 dwelling units per acre, and two- to three-stories in height. Units would be for sale homes and/or for rent apartments, and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area collectively contains about 7.2 gross acres, enabling the development of approximately 94 dwelling units.

PERMITTED USES

Principal Permitted Uses:

- 1) Multi-family Residential Condominiums, Townhomes and/or Apartments (for sale and/or for rent units)
- 2) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Pedestrian Paseos
- 4) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 14 dwelling units per acre, Maximum of 94 units

Minimum Building and Parking Setbacks:

	<u>Building</u>	<u>Parking</u>
1) Setback from Tuscana Promenade:	Ten Feet (10')	Ten Feet (10')
2) Setback from Interior Alley/Driveways:	Three Feet (3')	Five Feet (5')
3) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed forty feet (40') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval of the Director of Community Development.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Hardscape/Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) "The Fontana Promenade" Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 2) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 3) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing and landscaping.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.9 PLANNING AREA 9 - “MDR” Medium DENSITY RESIDENTIAL

Planning Area 9: Planning Area 9 is located in the southwest corner of the project area, at Baseline Avenue and Juniper Avenue. It will contain medium density, single-family detached or attached homes that have up to 12 dwelling units per acre and two to three stories in height. All units would be for sale detached homes and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area is approximately 10.0 gross acres, enabling the development of approximately 103 single-family dwelling units.

PERMITTED USES

Principal Permitted Uses:

- 1) Single-family Detached Residential
- 2) Single-family Attached Residential
- 3) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 3) Private Recreation Facilities
- 4) Pedestrian Paseos
- 5) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with principal the permitted residential use.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential use.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 12 dwelling units per acre, Maximum of 103 units

Minimum Building and Parking Setbacks:

	<u>Building</u>	<u>Parking</u>
1) Setback from Baseline Avenue:	Fifteen Feet (15')	Twenty Feet (20')
2) Setback from Juniper Avenue:	Ten Feet (10')	Ten Feet (10')
3) Setback from Ponte La Strada:	Ten Feet (10')	Ten Feet (10')
4) Setback from Prado Street:	Ten Feet (10')	Ten Feet (10')
5) Setback from Interior Alley/Driveways:	Three Feet (3')	Five Feet (5')
6) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed thirty-five feet (35') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval of the Director of Community Development.

Minimum Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Dimensions: Subject to Design Review Approval
- 3) Maximum Building Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) “The Fontana Promenade” Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) Walls and fences shall not exceed six feet (6’) in height, unless approved by the Director of Community Development.
- 2) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 3) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.10 PLANNING AREA 10 – “MHDR” MEDIUM HIGH DENSITY RESIDENTIAL

Planning Area 10: This residential Planning Area is located along Sierra Avenue, between the proposed Entrata Street and the Loveland Housing Complex commercial site. The area will feature medium-high density town homes and/or condominiums that are up to 16 dwelling units per acre and two- to three-stories in height. Units would be for sale homes and/or for rent apartments, and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area contains about 5.3 gross acres, enabling the development of approximately 85 dwelling units.

PERMITTED USES

Principal Permitted Uses:

- 1) Multi-family Residential Condominiums, Townhomes and/or Apartments (for sale and/or for rent units)
- 2) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Pedestrian Paseos
- 4) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 18 dwelling units per acre, Maximum of 85 units

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Entrata:	Ten Feet (10')	Ten Feet (10')
2) Setback from Tuscana Promenade:	Ten Feet (10')	Ten Feet (10')
3) Setback from Interior Alley/Driveways:	Five Feet (5')	Five Feet (5')
4) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed forty feet (40') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) “The Fontana Promenade” Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) Walls and fences shall not exceed six feet (6’) in height, unless approved by the Director of Community Development.
- 2) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 3) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.11 PLANNING AREA 11 – “MHDR” MEDIUM HIGH DENSITY RESIDENTIAL

Planning Area 11: Planning Area 11 is located in the southeast corner of the Specific Plan project area, at Sierra Avenue and Baseline Avenue, surrounding the Loveland Housing Complex on the south and west boundary. The area will feature medium-high density town homes or condominiums that are up to 18 dwelling units per acre and two- to three-stories in height. All units would be for sale homes and would provide a range of sizes, number of bedrooms and bathrooms. Minor modifications to these development regulations may be approved through the Design Review process to encourage creative development. This Planning Area contains about 7.0 gross acres, enabling the development of approximately 94 dwelling units.

PERMITTED USES

Principal Permitted Uses:

- 1) Multi-family Residential Condominiums and Townhomes
- 2) Active Open Space

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Pedestrian Paseos
- 4) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

Maximum Density: Up to 18 dwelling units per acre, Maximum of 94 units

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Sierra Avenue:	Fifteen Feet (15')	Twenty-five Feet (25')
2) Setback from Baseline Street:	Fifteen Feet (15')	Twenty Feet (20')
3) Setback from Ponte La Strada:	Ten Feet (10')	Ten Feet (10')
4) Setback from Tuscana Promenade:	Ten Feet (10')	Ten Feet (10')
5) Setback from Interior Alley/Driveways:	Five Feet (5')	Five Feet (5')
6) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed forty feet (40') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Lot Requirements:

- 1) Minimum Lot Size: Subject to Design Review Approval
- 2) Minimum Lot Width: Subject to Design Review Approval
- 3) Minimum Lot Depth: Subject to Design Review Approval
- 4) Maximum Lot Coverage: Subject to Design Review Approval

Off-Street Parking and Circulation:

- 1) Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All residential development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) "The Fontana Promenade" Logo is encouraged to be used in hardscape treatments.

Walls and Fences:

- 1) Walls and fences shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 2) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 3) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.12 PLANNING AREA 12 – “OS” Private Recreational Open Space

Planning Area 12: Planning Area 12 is located in the center of the Specific Plan project area, between the proposed Prado and Entrata Streets. This Planning Area is intended to provide recreation opportunities for residents of The Promenade. A private clubhouse, playground with splash garden water feature, a “bark park” dog run and other amenities will be provided on this site. This area also includes the “promenade” open space area provided for residents and visitors to stroll along a landscaped community green. This open space also provides easily accessible pedestrian access to the Ponte Promenade pedestrian bridge and commercial shopping; reducing vehicle dependence for shopping entertainment and employment for residents of the southern portion of the village. This open space also provides a safe visual corridor protecting future residents within each neighborhood, enabling kids to safely play with the security of “eyes on the street” design.

PERMITTED USES

Principal Permitted Uses:

- 1) Private indoor and outdoor recreational facilities, pools, spas, play equipment, meeting halls and meeting room facilities with kitchens, tot lots, play courts, domestic pet recreation facilities, water features, landscape and other recreation amenities.

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Other accessory uses and amenities as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

DEVELOPMENT STANDARDS

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Ponte La Strada:	Ten Feet (10')	Ten Feet (10')
2) Setback from Toscana Promenade:	Ten Feet (10')	Ten Feet (10')
3) Setback from Interior Alley/Driveways:	Five Feet (5')	Five Feet (5')
4) Building Separation Requirement:	Ten Feet (10')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed thirty-five feet (35') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Landscaping:

- 1) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 2)

Walls and Fences:

- 1) Walls and fences shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 2) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 3) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is required on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.2.13 Planning Area 13 - Loveland Sunrise Apartment Complex

Planning Area 13 currently contains the Loveland Sunrise Apartment Complex that contains 80 federally subsidized rental units. This existing land use is proposed to remain within the Specific Plan planning area. This property also contains two wireless telecommunication facilities, one freestanding slim-line monopole and another with antennas mounted to the exterior of the building.

PERMITTED USESPrincipal Permitted Uses:

- 1) Seniors Housing Complex
- 2) Active and Passive Open Space

Accessory Permitted Uses:

- 1) Utility Facilities

- 2) Private Recreation Facilities
- 3) Pedestrian Paseos
- 4) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Wireless Telecommunication Facilities
- 2) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

DEVELOPMENT STANDARDS

Maximum Density: Up to 28 dwelling units per acre, Maximum of 80 dwelling units

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Sierra Avenue:	Twenty Feet (20')	Twenty-five Feet (25')

Maximum Building Height:

- 1) Buildings and other structures shall not exceed fifty-five feet (55') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Site Plan and Design Review process.

Lot Requirements:

- 1) Minimum Lot Size: 3.0 Acres
- 2) Minimum Lot Width: Sixty Feet (60')
- 3) Minimum Lot Depth: One Hundred Feet (100')
- 4) Maximum Lot Coverage: Sixty-five Percent (65%)

Off-Street Parking and Circulation:

- 1) Off-street parking within Planning Area 13 is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 3) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All new development shall comply with Sections 30-302, 30-303 and 30-306 of the Fontana Zoning and Development Code for required landscape areas.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Promenade Specific Plan Design Guidelines and Plant Palette.
- 3) "The Fontana Promenade" Logo is encouraged to be used in any new hardscape treatments.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Promenade Specific Plan Design Guidelines set forth herein.

- 2) Any new walls or fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed six feet (6') in height, unless approved by the Director of Community Development.
- 3) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 4) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Exterior and interior lighting plans are required that identify the layout, intensity and type of fixture. Lighting plans shall be reviewed pursuant to the Fontana Zoning and Development Code, Article III., Division 2., Sections 30-104 through 30-112 (DAB Review).
- 2) Accent lighting is required throughout landscape areas. Up lighting is encouraged on buildings and trees.
- 3) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.

4.3 SIGN REGULATIONS

Purpose and Intent: Signage and site advertising are key factors and an important aspect of The Promenade Specific Plan. Activity oriented uses within the commercial and mixed-use planning areas are critical to the success of The Promenade. The purpose and intent of the Signs and Advertising Regulations section of The Promenade Specific Plan:

- To promote the economic success of The Fontana Promenade;
- To set forth a coordinated signage and advertising program for The Promenade that identifies this area as a major Gateway into northern Fontana;
- To safeguard and enhance property values;
- To protect public and private investments in property and buildings;
- To preserve and enhance the appearance of Fontana as a place to live and work, and as an attraction to non-residents who come to visit, shop or recreate;
- To encourage sound signing practices as an aid to businesses and for conveying information to the public;
- To prevent excessive and confusing sign displays;
- To reduce hazards to motorists and pedestrians;
- To promote public health, safety and general welfare by regulating and controlling all matters relating to signage and advertising;

Fontana recognizes the need for a coordinated signage program as a means to identify businesses within The Promenade Specific plan project area. Signing is an important design element of the physical environment and an important aspect of business communication. The City is committed to preserving and improving its appearance and is striving to provide an economically stable and visually attractive community through site planning, building design, landscaping and signing. As a planned architectural feature, a sign can be pleasing and can harmonize with the physical character of its environment. Some signs detract from the city's aesthetic value and have the result of decreasing property values. Signs can present a hazard to both pedestrians and motorists. The City is committed to eliminating this hazard within The Promenade, and to preserving and improving the area's aesthetic value, and to preserving and maintain the property values of parcels located within and around the project area.

DEVELOPMENT REGULATIONS

Authority and Requirements: The Fontana Promenade Sign and Advertising Standards shall be applied to those properties located within the Specific Plan project area, in addition to the sign and advertising regulations set forth in Chapter 3 of the Fontana Municipal Code. These regulations modify certain regulations contained in Chapter 3 of the Code, as enumerated herein. If there is a conflict with Chapter 3, the Specific plan standards shall prevail.

No sign shall be erected, re-erected, constructed, installed or altered except as provided for in these development regulations, and/or Chapters 3 and 30 of the Fontana Zoning and Development Code. A sign permit must be obtained from the Building and Safety Division prior to the construction or installation of all permanent and temporary signs within the Overlay District. Where a conditional use permit or variance is needed for another purpose, the applicant need not submit a separate application for a sign if the applicant wishes to submit sign plans at the same time. Any plan for signs to be so erected or constructed on the premises shall be submitted in conjunction with the application for the conditional use permit or variance as part of the precise plan of design.

No sign shall be erected or used for business purposes of any kind, except such signs that are located on the place of business, and used solely for the naming designating or identifying that specific business, enterprise, calling, product or services available on and within the premises.

The commercial and mixed-use planning areas within the Fontana Promenade Specific Plan are designated, and shall be considered a “Commercial Complex”. All applications for approval of signs shall be submitted to the City in the form of a Design Review Sign Application. The Sign Application shall set forth a “Sign Program” and present the type, size, height, composition, location, color and design of all signs, banners and other types of exterior advertising to be constructed or installed. No sign, banners or other advertising shall be installed unless it conforms to an approved Sign Program.

No lighted or luminous sign shall be so constructed, erected or placed so as to direct or reflect artificial light onto any structure used exclusively for residential purposes.

No sign shall be erected, re-erected, constructed, installed or altered except as provided for in Chapters 3 and 30 of the Fontana Zoning and Development Code.

5.0 COMMUNITY DESIGN GUIDELINES

5.1 PURPOSE AND INTENT

The Fontana Promenade Specific Plan Design Guidelines provide general and specific criteria for site planning, architecture, monumentation, landscaping, hardscape and lighting design. These Guidelines are set forth to ensure that The Promenade reflects high-quality development and has community character as an activity oriented place at this important “Gateway” location. The primary goal of these Design Guidelines is to create a development that is unique to this area of the Inland Empire, and implements the goals, policies and actions of the Fontana General Plan. It encourages a mixed-use master planned development where people can live, work, shop, eat and be entertained. It combines a wide range of retail and office uses as well as shops, restaurants and entertainment facilities with a variety of residential product types and densities.

THE “TUSCANA PROMENADE” PEDESTRIAN WALKWAY within the Specific Plan area is a central, north/south curvilinear corridor that encourages residents and visitors to enjoy a Village Environment with quaint shops, quality restaurants, movie theaters and other entertainment uses needed in Fontana. The focal point of *THE PROMENADE* is a unique Traffic Circle, or “Round About” along Walnut Avenue that incorporates the “*PONTE PROMENADE*” pedestrian bridge and tower feature that bring together the southern and northern halves of the Specific Plan. The community’s theme focuses on a walled, Tuscan village with a protected central promenade that reflects a strong Mediterranean design influence.

These Guidelines are intended to provide direction and criteria for design, but also allowing for and encouraging flexibility for architects, engineers, landscape architects, developers, builders and others involved with project design. Variation and customization within the context of these guidelines is encouraged to achieve distinctive commercial activity centers and quality residential neighborhoods. Careful and through collaboration between the City, the master developer, the builder(s), and their consultant teams will result in a quality development that can capitalize on this important “gateway” location.

5.2 DESIGN GUIDELINE OBJECTIVES

The primary objectives of these Guidelines are to:

- 1) Provide guidance to developers and builders, and their professional consultant teams to achieve quality design;
- 2) Achieve a combination of mixed land uses and design elements that creates a unique people oriented activity center in this area of the Inland Empire;
- 3) Establish a framework for the separation of pedestrians and vehicles within The Promenade’s activity centers;
- 4) Suggest design elements that will result in a protected, Mediterranean style Tuscan village atmosphere with a central pedestrian promenade;

These Design Guidelines are intended to work with the Development Regulations set forth in Section 4 of this Specific Plan, to establish quality to the character of each planning area. These Guidelines will be implemented through careful coordination between the master developer and the City of Fontana during the entitlement review process.

5.3 SITE PLANNING AND ARCHITECTURAL GUIDELINES

“THE PROMENADE” SHALL consist of the following major site plan components:

- A central, curvilinear “*Tuscana Promenade*” corridor, within a pedestrian friendly, village environment;
- A focal point “Round About” area that incorporates a traffic circle below, with the “*Ponte Promenade*” pedestrian bridge containing elevated shops, a food court and other activity-oriented retail commercial use that tie together both sides of Walnut Avenue..
- A “*campanile*” tower feature up to 100 feet tall located in the middle of the Round About.
- A mixed-use area adjacent to the “Round About” that contains retail commercial uses on the ground level, office and service commercial uses on the second level, with residential above;
- An area designated for small and medium size box stores with designs that are complimentary to the Tuscan - Mediterranean design theme;
- “Gateway” monumentation at the northwest corner of Sierra Avenue and South Highland Avenue;
- Up to 801 medium and higher density residences that provide for alternative urban living environments generally not available in this area, with unique housing types, designs and sizes that include single-family garden court clusters, townhomes and condominiums in a “Village” setting;
- An “Activity Center” neighborhood commercial use at Sierra Avenue and Walnut Avenue.
- An urban street scene along the “*Tuscana Promenade*” activity corridor with, two, three and four story design elements, that creates a protected pedestrian environment from the natural elements, including winds, heat and rain.

5.4 COMMERCIAL AND MIXED-USE GUIDELINES

5.4.1 Commercial / Mixed Use Site Planning Criteria

Design Principles: The intent of site planning criteria is to encourage a strong village character that is pedestrian friendly and encourages residents, visitors, employers and employees, to take advantage of the “lifestyle” environment. At the same time, the goal of the conceptual site plan is to accommodate the needs for functionality and the creation of an appealing people-oriented place that will attract a broad cross-section of quality retail and office users and tenants.

Site Planning Concepts: The goal of these commercial and mixed-use design guidelines is to establish a “people-oriented” synergy with a combination of entertainment uses, shops, restaurants and food courts with outdoor dining, carts and kiosks, newsstands, book stores and other complimentary retail uses along pleasant pedestrian corridors. These corridors will contain pleasant, protected spaces and quality amenities that include shaded courtyards and vine covered arbors, fountains and the sounds of flowing water, sculptures and other public art forms, landscaping that provides shade and cooling effects, and other unique features. The design of The Promenade’s pedestrian corridors should create well-articulated architectural forms that result in visually interesting spaces. These corridors should be protected from the seasonal winds and noise of the surrounding streets to the greatest extent feasible.

Other potential commercial uses that can be located within the commercial and mixed-use planning areas include a hotel, sports fitness clubs and spas, professional offices, retail stores, as well as vertically mixed commercial and office uses. Residential lofts are also encouraged within the mixed-use planning areas. The residential villages to the south shall be connected to the commercial and mixed-uses planning areas to the north by the “*Tuscana Promenade*” pedestrian corridor that runs within both segments of the Specific Plan project area. The following is a summary of the primary site planning design criteria necessary to create the ‘people-oriented’ synergy envisioned for The Promenade.

- The “*Tuscana Promenade*” curvilinear circulation corridor that provides the primary pedestrian corridor connecting the southern residential villages to the commercial and mixed-use areas to the north;
- The Walnut Avenue ‘*Round About*’ that provides convenient vehicle access to the commercial activity center in the northern half of the Specific Plan project area;
- The ‘*Ponte Promenade*’ pedestrian bridge, with shops, carts, kiosks and other uses that provides protected pedestrian access over the Walnut Avenue Round About to the northern and southern halves of the Specific Plan project area;
- An 80 to 100 foot “*campanile*” tower feature in the middle of the Round about and Ponte Promenade pedestrian bridge to serve as a visual focal point of The Promenade Specific Plan project area. This tower feature shall be illuminated to create a dramatic evening and nighttime effect.
- The “*Promenade Archway*” at the Gateway location of Sierra Avenue and South Highland that provides a window into The Promenade Commercial Center. This archway and visual entryway should also have unique lighting and a water feature
- Numerous water features and fountains shall be provided that provides traffic noise attenuation, as well as pedestrian interaction and relief from the heat during hot summer days and evenings. A tiered or other cascading type fountain is needed to mask and mitigate the noise from adjacent streets and the nearby 210 Freeway. A children’s’ fountain area should be provided near the food court that allows for playful interaction. Examples of tiered/cascading and interactive fountains are included in the accompanying design guideline figures.

The primary pedestrian corridors connecting the northern commercial uses with the southern residential uses are illustrated in the “Pedestrian Corridor Plan”, Figure 10. Outdoor seating is strongly encouraged in all sit down restaurants, fast food restaurants and food courts. Inward oriented, second-story balcony outdoor seating is also encouraged.

While adjustments to the master plan elements may occur over time as interested tenants/users submit applications for development of individual buildings within the commercial areas, the intent herein is to establish an overall cohesive concept for The Promenade. As such, a master plan and tentative subdivision map(s) for Planning Areas 1 and 2 shall include all buildings and structures, and shall be submitted concurrently to identify the proposed grading, the location of all buildings and including site vehicular and pedestrian circulation, and parking. Similarly, for the residential Planning Areas 5-11, the first tentative tract map and Development Review Board applications shall also include a master plan for all proposed other proposed buildings in those seven residential planning areas, and for the private open space in Planning Area 12.

Vehicular Parking and Circulation: All roadways within and adjacent to The Promenade Specific Plan project area shall be designed to meet General Plan Circulation Element right-of-way improvement standards. Project circulation shall minimize impacts on the surrounding uses while permitting ease of access to, and within The Promenade Master Planned Community. Parking areas shall be enhanced with canopy shade trees.

Pedestrian Circulation: Pedestrian corridors and walkways shall be provided from the southern (residential) end of the Specific Plan project area to the northern (commercial) end. Access from adjacent uses shall also be considered, as well as access through the site from the adjacent residential areas to the nearby schools. Key vehicular/pedestrian crosswalks within and adjacent to the Specific Plan project area shall be enhanced with special paving and crossing protection lighting. Refer to the “Pedestrian Corridor Plan” (Figure 12) and the accompanying imagery/renderings for design guidelines.

5.4.2 Commercial / Mixed Use Design Guidelines

The following are provided to guide the overall design and architecture of the buildings within The Promenade commercial planning areas. Figure 14 provides a conceptual illustrative site plan for the commercial uses in Planning Areas 1 and 2. Figure 15 provides a bird’s eye view of this same area. Figures 16.a. and 16.b. provide conceptual sketches of different areas within Planning Area 1, which are keyed to Figure 14. Figures 16.c. and 16.d. provide photographs of the visual environment and amenities to be located within Planning Areas 1 and 2. This includes samples of landscaping, hardscape treatments and other amenities.

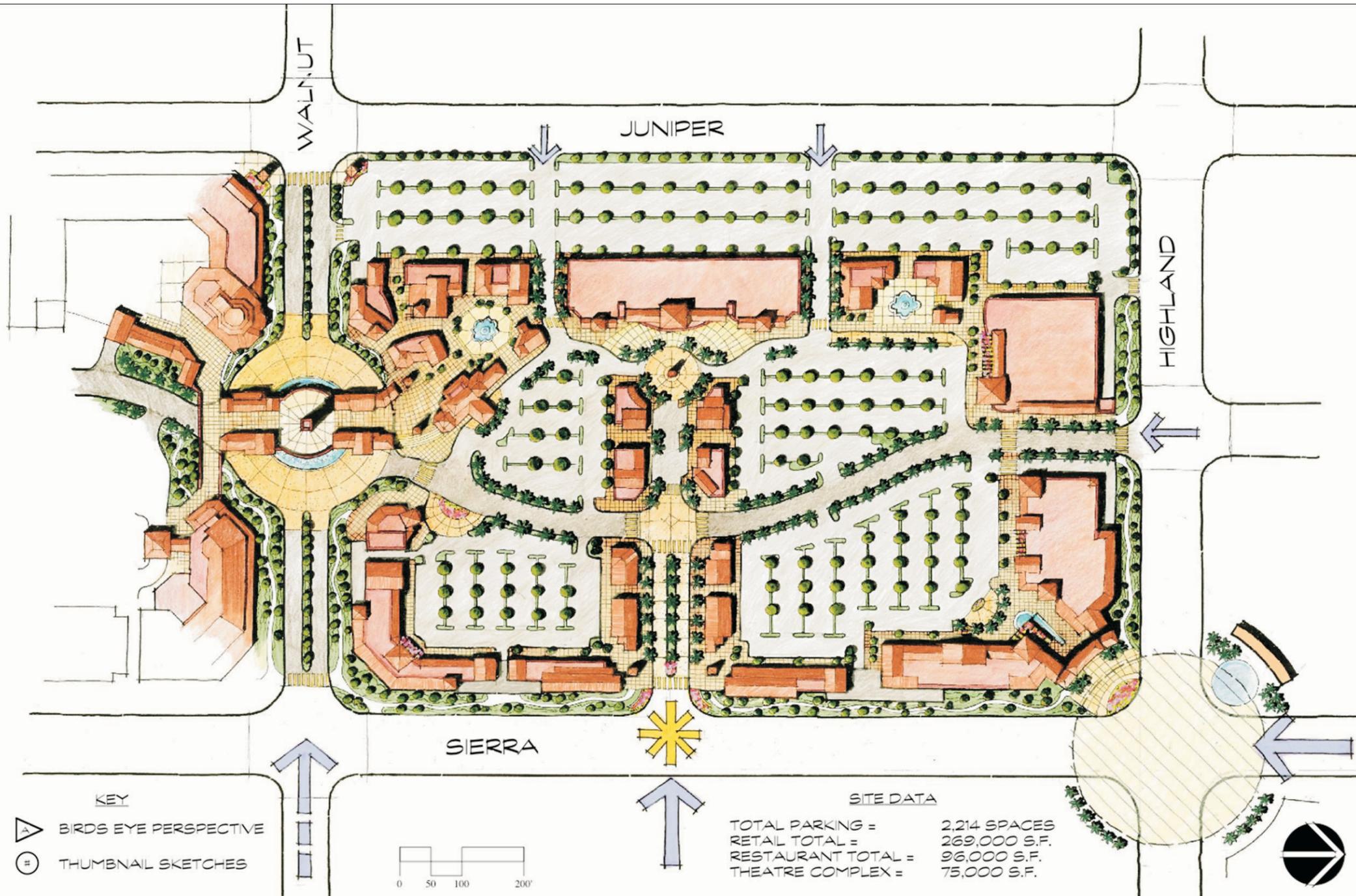
Figure 17 provides a conceptual bird’s eye view of the “*Ponte Promenade*” pedestrian bridge, the “*Campanile*” tower and the Walnut Avenue Round About that comprise Planning Area 2. Figure 18 provides conceptual sketches and views within this Planning Area that are also keyed to Figure 14.

Figure 19 provides a conceptual rendering and photographs of the mixed-use development envisioned for Planning Areas 3 and 4.

Building Massing and Scale: Building mass and scale are key elements in the successful design of all commercial architecture within The Promenade. Masses should avoid plain boxes and be well articulated. Heights should vary, avoiding long, linear buildings. Tower features shall be used to unify The Promenade commercial areas. Arches should also be used in entryways, for windows or freestanding arbors. Trellises should be included to provide a pedestrian-scale and sense of place. The figures that follow identify various building forms that demonstrate these design objectives.

Building Materials and Colors: Colors, materials and finishes should be coordinated on all exterior commercial elevations of all buildings to achieve an overall continuity of design. Stacked stone should be used on tower features, around entryways and doorways, and other prominent locations. Earthtones, consistent with an overall color scheme should serve to unify the Commercial Center and compliment the Mediterranean/Tuscan design theme. Bright, intense colors should be avoided.

Roof Forms and Materials: A variety of roof forms are permitted with The Promenade Commercial Center. Gable, hip and flat roofs are all acceptable. Long, flat roofs should be avoided, or well articulated by parapet walls and projections. All roofing materials (excluding moldings, decoration, parapets, and similar architectural features) that are visible from ground level should be constructed of concrete tile to assure continuity in color, texture and character. All roof-mounted equipment should be screened from view from elevated pedestrian areas within Commercial Center.



**FIGURE 14
 PLANNING AREA 1
 COMMERCIAL
 ILLUSTRATIVE SITE PLAN**

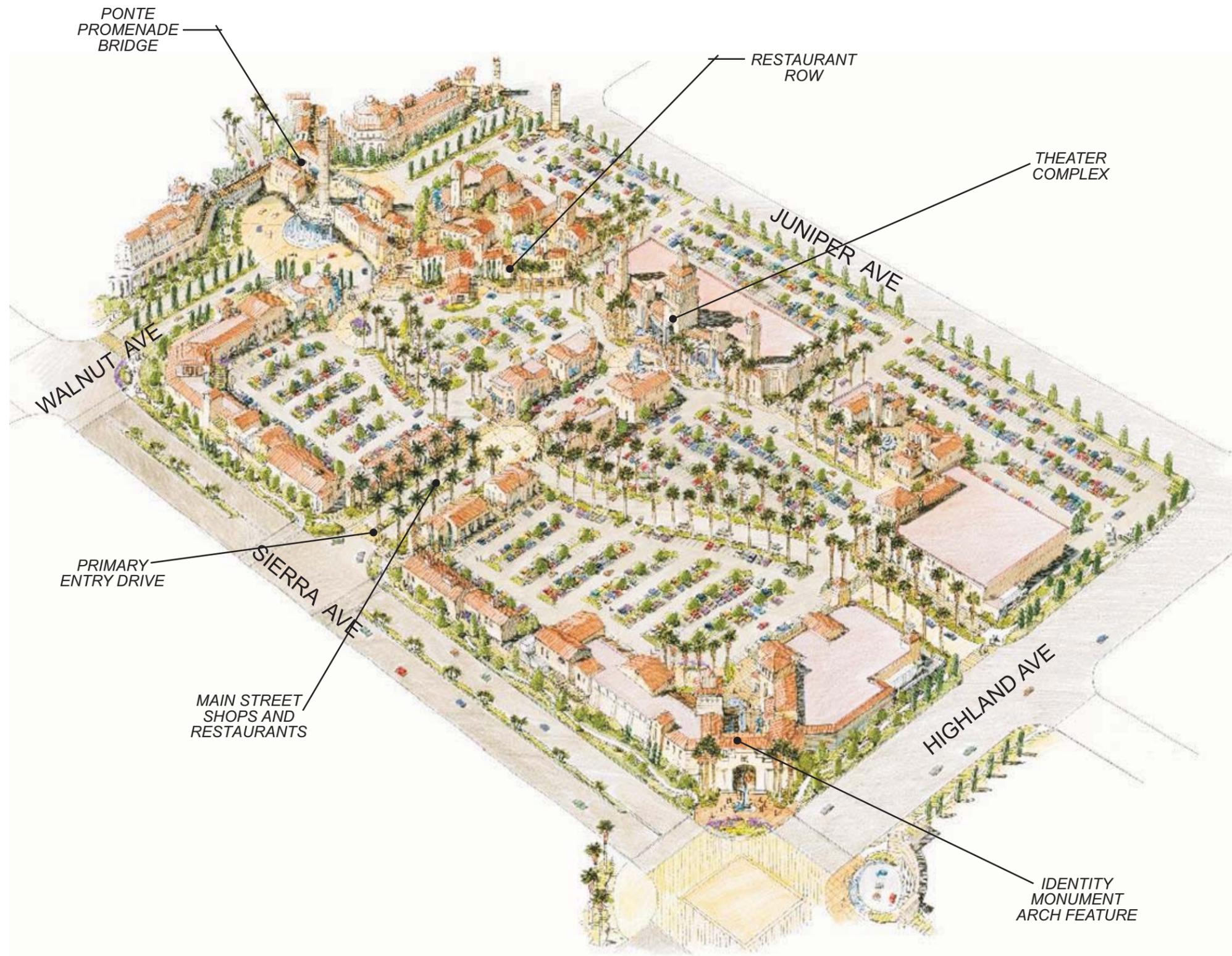
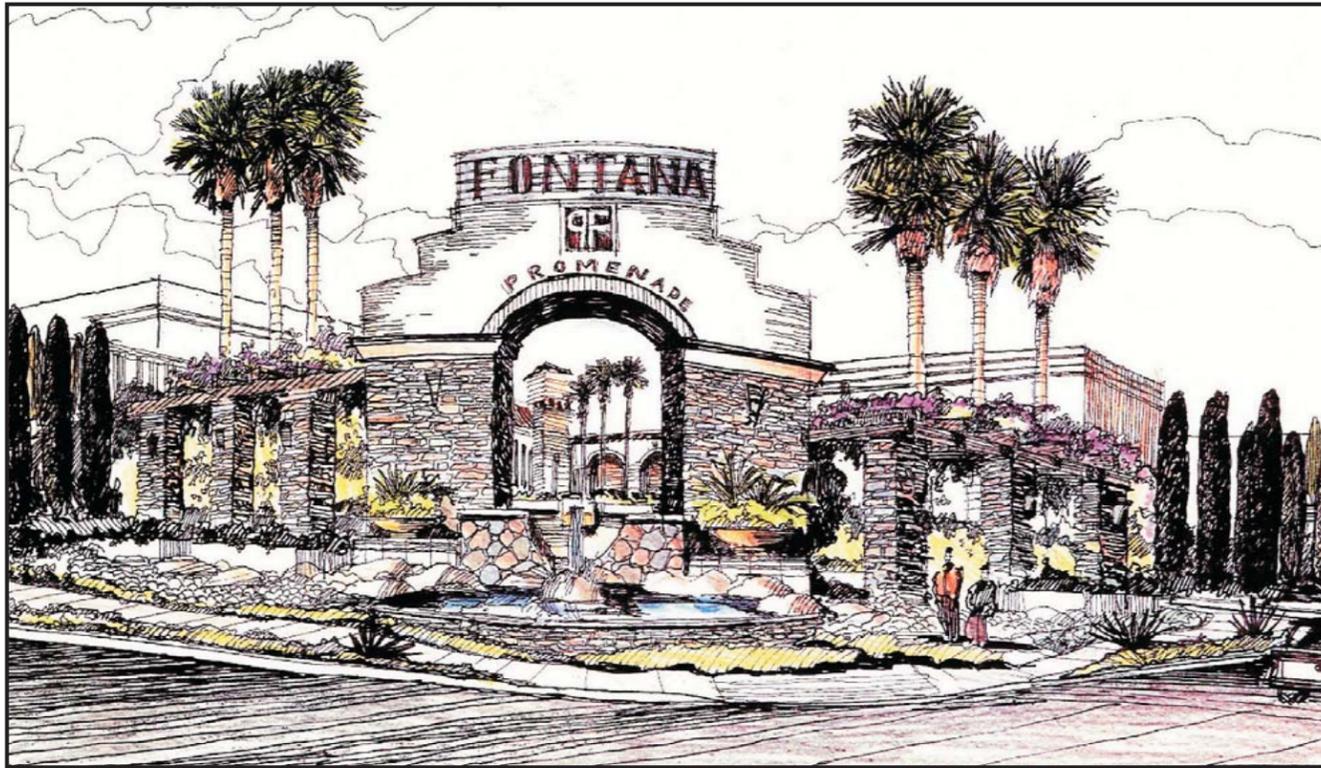


FIGURE 15
PLANNING AREAS 1&2
BIRD'S EYE VIEW



View From N.E. Corner of Sierra and Highland Ave.



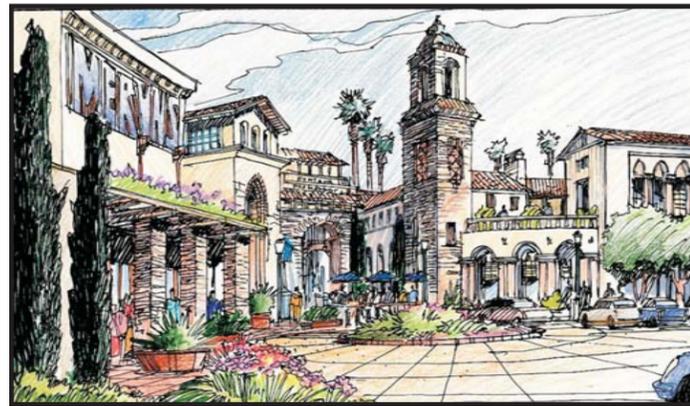
View at Main Entry Drive from Sierra Ave.

FF
FONTANA
PROMENADE

**FIGURE 16a
PLANNING AREA 1
CONCEPTUAL
ILLUSTRATIVE VIEW**



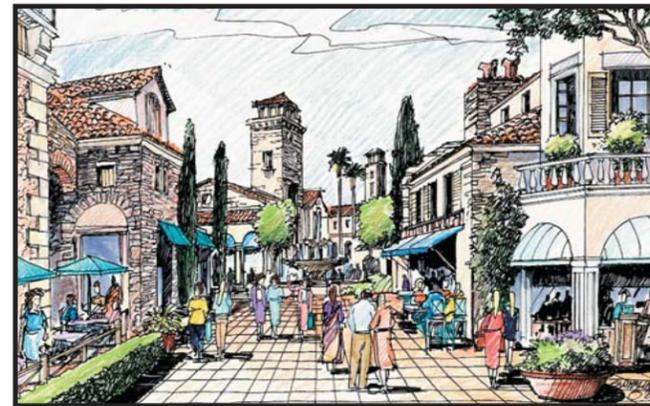
View of Main Street



Interior View Toward N.E. Corner



Theater Complex



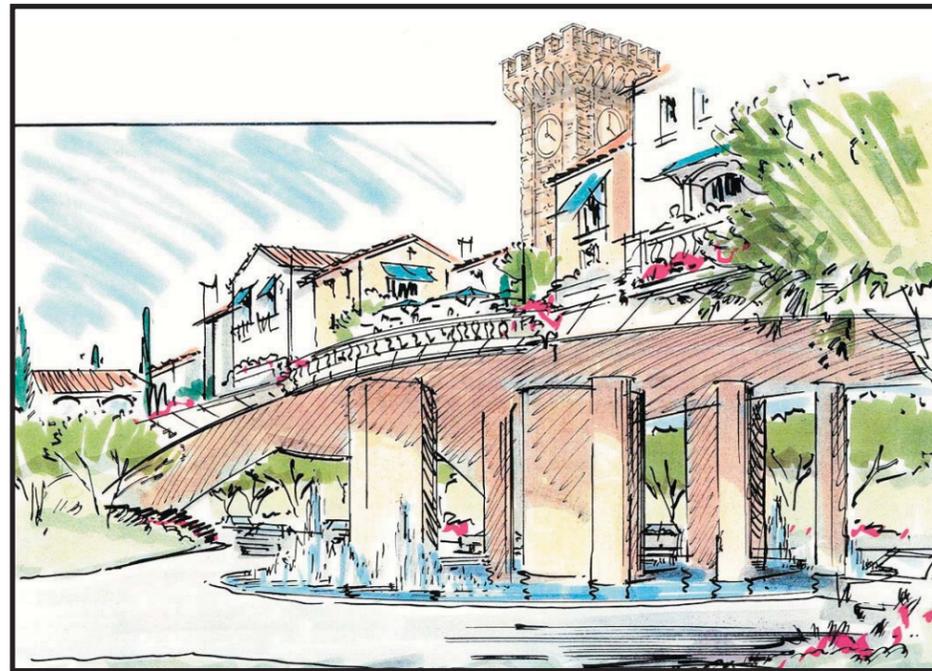
Pedestrian Mall

**FIGURE 16b
PLANNING AREA 1
CONCEPTUAL
ILLUSTRATIVE VIEW**



Bird's Eye View of Ponte Promenade

**FIGURE 17
PLANNING AREA 2
CONCEPTUAL
ILLUSTRATIVE VIEW**



Views of Ponte Promenade

**FIGURE 18
PLANNING AREA 2
CONCEPTUAL
ILLUSTRATIVE VIEW**



MIXED USE

CONCEPTUAL ELEVATIONS - RETAIL COMMERCIAL, OFFICE, RESIDENTIAL LOFTS & LIVE WORK



CONCEPTUAL GARAGE ELEVATION

FIGURE 19
PLANNING AREAS 3&4
MIXED USE CONCEPT
PLANS

5.5 RESIDENTIAL GUIDELINES

5.5.1 Residential Site Planning Criteria

Design Principles: The intent of the residential site planning criteria is to create an attractive, pedestrian friendly village environment that connects the southern Residential Villages to each other, to the common private recreation center, and to the northern Commercial Center and mixed uses.

Site Planning Concepts:

The residential product types planned for The Promenade places emphasis on the pedestrian and the street scene character. All homes, whether detached or attached, are required to locate garages off the primary street scene and instead along alleyways, similar to many older and quaint communities in Southern California. In this way, the street scene becomes one where front porches, balconies and other architectural features front the pedestrian corridors and local collector streets. It also creates a safer neighborhood environment, whereby children can walk along streets and walkways without concern of automobiles backing in and out of garages.

Each of the planning areas that are designated exclusively for residential uses should be based on the above design criteria. Planning Areas 5 through 8, 10 and 11 provide for medium-high density, condominiums and townhomes. Planning Areas 5, 8 and 10 permit both for sale homes and for rent apartments. Planning Area 9 provides for medium density, for sale detached single-family garden court homes.

To create variety within each residential neighborhood of the village, site planning concepts emphasize orienting the fronts of homes to face local tree-lined public or private streets and/or towards pedestrian corridors and inward oriented landscaped courts. Primary entry treatments may include stacked stone walls, landscaped setbacks and fountains.

Parking for homes and guest parking: Off-street parking and guest parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.

Pedestrian Corridors: Pedestrian connections shall be provided to enable easy access for residents to walk to the village Commercial Center and surrounding uses, including the AB Miller High School and the Wayne Ruble Middle School. These may be via sidewalks or from landscaped pathways located within the internal areas of each residential village.

One of the major pedestrian amenities and major focal point provided in The Promenade is the Ponte Promenade pedestrian bridge. It provides protected access to the Commercial Center over the round about / traffic circle below. Residents will be able to walk from their homes within The Promenade to the planned shops, cafes, restaurants and offices within a short ten minutes in a setting of tree lined streets or along tree-lined and landscape pathways. Future employers and employees within the Commercial Center will also appreciate the convenience and amenities of a pedestrian oriented environment. Figure 12 identifies the primary pedestrian pathway system in the residential villages.

5.5.2 Residential Design Guidelines

The residential guidelines are intended to promote diverse villages with their strong identities, consistent with the overall Tuscan theme. Refer to Figure 20a for Planning Areas 5 and 11, Figure 20b for Planning

Areas 6 and 10, Figure 20c for Planning Area 7, Figure 20d for Planning Area 8 and Figure 20e for Planning Area 9. These figures provide conceptual street scenes and sample elevations that are encouraged within the residential planning areas.

Massing and Scale: The articulation of building facades and variation in rooflines increases the attractiveness in residential architecture. The location of certain types of building elements also improves massing and scale. On single-family homes, placing third-story elements on two-story houses provides variation in and massing, reinforces a comfortable pedestrian scale and provides a more visually interesting street scene. On corner lot conditions for the single-family homes, it is encouraged to provide elements such as entry canopies, trellises, porches, or other single story architectural enhancements.

In the case of townhomes and multi-family structures, placing two-story building elements at the ends of a three-story structure accomplishes the same objective. Continuous three-story structures, where proposed, are appropriate when adjacent to commercial and mixed-uses, and in those areas where a higher building scale would complement the streetscape. Such areas may be appropriate along an arterial or larger collector street or to complement the scale of greater existing structural massing, creating a more metropolitan character.

Building Materials and Colors: Building materials and colors play an important role enhancing each neighborhood and the community in general. While earth tones are preferred to complement the Tuscan theme, a variety of color palettes are recommended in order to avoid a monotonous or continuous appearance of buildings with the same color and tones. Examples of preferred earth tone color palettes that blend with the Tuscan theme are provided in the photographs in the figures that follow. Bright or other intense colors should be avoided.

Windows: Windows details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters and window boxes are ways to further enhance the architecture and should be in keeping with the scale of the windows. In general, windows should enhance rather than dominate the overall architectural character.

Porches and Balconies: Another way to add to the architectural interest and functionality of a residential structure is to incorporate porches and balconies. They help add depth to a building façade and break up large wall masses. The design of the porch or balcony should be consistent with the architectural style. Front porches and balconies also provide a pedestrian friendly scale and opportunity for social interaction. For enhanced natural surveillance, or “*eyes on the street*”, a minimum of one balcony for every three residential dwelling units would be incorporated into all alley-loaded building types.

Columns and Posts: Whether serving as structural or aesthetic elements, columns and posts can reinforce the theme and character of a particular architectural design. The size and scale of columns and posts will vary depending upon the architectural style and should convey a solid, durable image. They may be freestanding or used as a support.

Rear and Side Elevations: Homes in the village will be visible from major streets, such as Sierra Avenue, Baseline Avenue and Juniper Avenue; therefore the articulation of all building facades is an important feature for the community. Architectural treatments for these residential structures shall incorporate enhancements such as enhanced window treatments, balconies, front porches, color and material variation, articulation and other appropriate architectural details.

Floor Plans and Building Elevations: For Planning Area 9, which includes single-family detached or attached homes, a range of dwelling unit sizes, floor plans and elevations should be provided. A minimum of three different floor plans is recommended. In addition, three elevations should be provided for each floor plan. Similar style elevations should not be repeated adjacent to one another, unless approved by the Director of Community Development due to unique design conditions.

For the remaining residential Planning Areas with townhomes and multi-family structures, two styles are recommended. These may include a Tuscan and Spanish Eclectic Style as identified in the accompanying figures and architectural imagery/photographs. Other styles permitted by this Specific Plan may be allowed subject to approval of the Director of Community Development.

In Mixed-Use Planning Areas 3 and 4, residential uses shall be integrated architecturally into the building forms to reinforce a European type urban village.

Private Recreation Areas: Neighborhoods within The Promenade residential village will provide individual private recreation uses for each of the seven residential neighborhoods, and one large private recreation area. This central recreation facility will include a central green along the open space promenade extending from the mixed use planning area adjacent to the Ponte Promenade pedestrian bridge. A clubhouse community building with restrooms and a meeting room, multi-use play court, community garden, dog run and playground with splash play water feature will also be located in the central recreation area. Additionally, each neighborhood in the village will contain a small recreation area or tot-lot with a splash play water feature or similar recreation amenity. Figure 21 provides conceptual photos of the amenities provided for a combined recreation area for the proposed residential villages. Any reduction in size of the individual private recreation areas would be subject to the approval of the Director of Community Development.

In addition to these facilities, residents within the Promenade Specific Plan area will be able to take advantage of proposed private recreation facilities located within Planning Area 3 through a program of membership paid through homeowner association dues. This program will make a wide variety of recreation opportunities available within walking distance of every resident of the community.

In lieu of providing public parks within The Promenade project area, the project will contribute to the City for development of parkland based on current City park fee requirements. Residents of The Promenade will not have far to go to find nearby park facilities. The City's new 30+ acre community park and aquatic center is less than one mile from the site, is under construction and will be completed before the first homebuyer occupancies occur.

Police Department CPTED Guidelines: The following measures are required for mixed use and residential planning areas within The Promenade Specific Plan:

1. A minimum of one balcony or a "living area" (i.e. living room, family room, great room or kitchen with a window) overlooking the drive aisles or alleyways in all alley-loaded floor plans shall be provided for enhanced natural surveillance. Bedrooms are not considered living areas.
2. The incorporation of a balcony in at least one proposed floor plan for each planning area shall be provided for enhanced natural surveillance.
3. No paseos or pedestrian pathways shall be located behind any residential unit that, in effect create dead spaces.
4. The Police Department strongly discourages linear parks, or any proposed amenity wherein the amenity is directly adjacent to, and surrounded by, Main drive aisles.
5. In Planning Areas 3 and 4 (Mixed-Use), the residential aspect must be gated and secured. Residential bfts and live/work units should be situated so that the office and/or retail space is accessible to the public, and the residential space is inaccessible to the public.



**PLANNING AREAS 5 & 11
CONCEPTUAL ELEVATIONS UP TO 18 UNITS PER ACRE**



SIDE



FRONT

CONCEPTUAL ELEVATIONS

**FIGURE 20a
PLANNING AREAS 5&11
MEDIUM HIGH DENSITY
RESIDENTIAL**

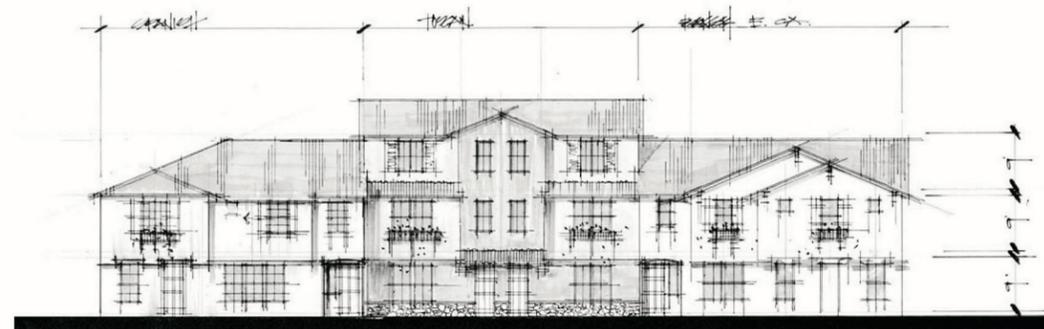


CONCEPTUAL ELEVATION

PLANNING AREAS 6 & 10
UP TO 18 UNITS PER ACRE



TUSCAN - CONCEPTUAL FRONT ELEVATION



CONCEPTUAL FRONT ELEVATION

FIGURE 20b
PLANNING AREAS 6&10
MEDIUM HIGH DENSITY
RESIDENTIAL

CONCEPTUAL ELEVATIONS



**Plan 2
Tuscan**

**Plan 1
Mediterranean**

**Plan 1R
Craftsman**

**Plan 2R
Mediterranean**

**Plan 3R
Tuscan**

**PLANNING AREA 7
UP TO 18 UNITS PER ACRE**

**FIGURE 20c
PLANNING AREA 7
MEDIUM HIGH DENSITY
RESIDENTIAL**



Conceptual Elevations

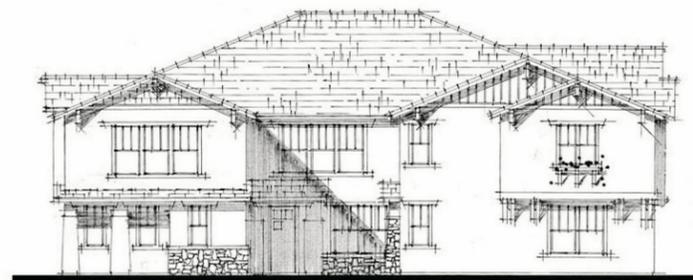
**PLANNING AREA 8
UP TO 14 UNITS PER ACRE**



Spanish - Conceptual Front Elevation



Tuscan - Conceptual Front Elevation



Craftsman - Conceptual Front Elevation

**FIGURE 20d
PLANNING AREA 8
MEDIUM HIGH DENSITY
RESIDENTIAL**



Conceptual Elevation

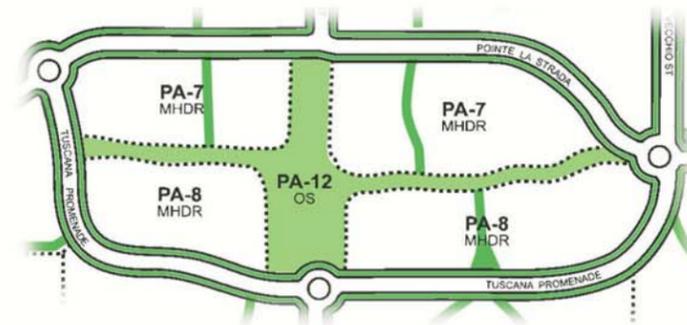
**PLANNING AREA 9
UP TO 12 UNITS PER ACRE**



Conceptual Elevations



**FIGURE 20e
PLANNING AREA 9
MEDIUM HIGH DENSITY
RESIDENTIAL**



**FIGURE 21
 PLANNING AREA 12
 PRIVATE OPEN SPACE &
 RECREATION**

5.6 LANDSCAPE / STREETScape GUIDELINES

5.6.1 Landscape Elements

Plant Material Guidelines: The quality of, and long-term appearance for all landscaped areas will depend on many factors including the initial selection of the plant materials, soil preparation and installation, irrigation management and care and maintenance. These guidelines apply to all public areas that will be maintained by a landscape maintenance district or similar entity.

General Landscape Requirements:

- All areas required to be landscaped should be planted with turf, groundcover, shrub and / or trees selected from the plant palette contained in these guidelines or as supplemented by the City of Fontana. In general, the plant materials designs should provide a layered appearance, with lower growing plants in the foreground and larger growing plants in the background.
- Cut slopes equal to or greater than eight feet in vertical height and fill slopes equal to or greater than five feet in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding 15 feet in vertical height shall be planted with shrubs spaced not more than ten feet average on center, or trees spaced not to exceed thirty feet average on center, or a combination of shrubs and trees at equivalent spacing, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
- Reference should be made to the City of Fontana Standards for erosion control methods for slopes and other landscaped areas.

Climate: The Plant material palette has been selected based on compatibility with the climatic conditions among other considerations discussed below.

Horticultural Soils Test Requirements: Soil characteristics within the site may be variable. The developers/builders for parcels, which require landscape development within public areas, shall procure a horticultural soils report in order to determine proper planting and maintenance recommendations for proposed plant materials. soils testing shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

Plant Pest and Disease Control: Diseases and pests can have deleterious affects on one or many plants, whether native or ornamental in origin. Recent pest and disease problems include oleander scorch blight and several eucalyptus problems, requiring that these specific varieties should be avoided. Other plants that today are without known problems may develop problems in the future. While there is no way to predict the occurrence of new pests or diseases there are useful methods to limit the impact of outbreaks and should be incorporated into final design plans for each project. These include the following:

- Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
- Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.

- Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
- Place plants in similar hydro zone grouping to maximize efficient water use.

5.6.2 Plant Palette

The plant palette in Table 3 below has been selected to create a unified and cohesive design theme for the community. They have also been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation. Figure 22 provides photographs of the trees and shrubs recommended within The Promenade Plant Palette.

Plant selections should take into consideration grouping of plants with similar cultural requirements in order to minimize water use and to provide conditions where plant material will thrive.

In the streetscape sections of the design guidelines, specific trees or other plant materials have been identified. In those cases, the intent is to illustrate the intended form and character that fulfill the design intent, i.e., evergreen versus deciduous, upright or vertical in form versus dome shaped. Should alternate selections be desired for any given street, they should reflect the same form and character as those included in the streetscape sections.

Table 3
Community Plant Palette (Zone 19)

Trees:

Italian Cypress.....[cupressus sempervirens fastigiata]
Kangaroo Thorn.....[acacia armata]
Olive.....[olea europaea, ‘fruitless’]
Palo Verde, Blue and Little Leaf.....[cercidium floridum, microphyllum]

Palms:

Cordyline Australis.....[dracaena australis]
Garden Palm.....[phoenix canariensis]
Garden Palm.....[washingtonia robusta]

Shrubs:

Artemisia.....[artemisia]
Echium.....[echium]
Fountain Grass.....[pennisetum setaceum]
French Lavender.....[lavandula dentata]
India Hawthorn.....[raphiolepis indica]
Pittosporum.....[pittosporum crassifolium]
Tuscan Blue.....[rosmariunus officinalis]

TREES



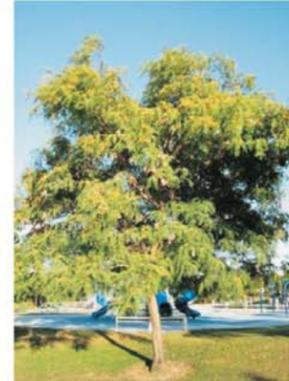
CUPRESSUS SEMPERVIRENS
 ITALIAN CYPRESS



PHOENIX DACTYLIFERA
 DATE PALM



OLEA EUROPAEA
 OLIVE

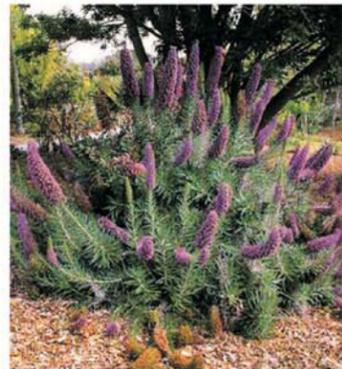


TIPUANA TIPU
 TIPU TREE



PLATANUS RACEMOSA
 CALIFORNIA SYCAMORE

SHRUBS



ECHIUM FASTUOSUM
 PRIDE OF MADEIRA



PHORMIUM 'MAORI QUEEN'
 FLAX



LAVANDULA STOECHS
 SPANISH LAVENDER



DIETS VEGETA
 FORTNIGHT LILY



HEMEROCALLIS SPP.
 DAY LILY

**FIGURE 22
 TREE & SHRUB PLANT
 PALETTE**

5.6.3 Streetscape Guidelines

Streetscapes play an important part of the developing a distinctive community. Parkway trees and background trees, shrubs and groundcovers that are located within the streetscapes along public rights-of-way all contribute to creating a unified and beautiful community. The streetscape design elements are described below and illustrated in the Figures 23.a. through 23.d.

Sierra Avenue: This six-lane, divided road will be the primary entry into The Promenade from the I-210 Freeway, and from areas south of the project area. As shown in the illustrative section, Sierra Avenue will include a distinct streetscape approach, Italian Cypress trees will be set on west side of Sierra Avenue to create a stately and formal entry character to the community. Olives or Oaks will also be included to create a shaded streetscape canopy. A backdrop of informally clustered pines can be provided in a landscape setback area, averaging fifteen feet in width adjacent to both the commercial and residential areas. These trees and berms will provide a buffer to the adjacent developed areas while at the same time enhance the street scene. A layering of shrubs and groundcovers, many which flower in the spring and summer months, will be located beneath the pines. Where perimeter community walls occur, vines will be planted to soften and further enhance the street scene.

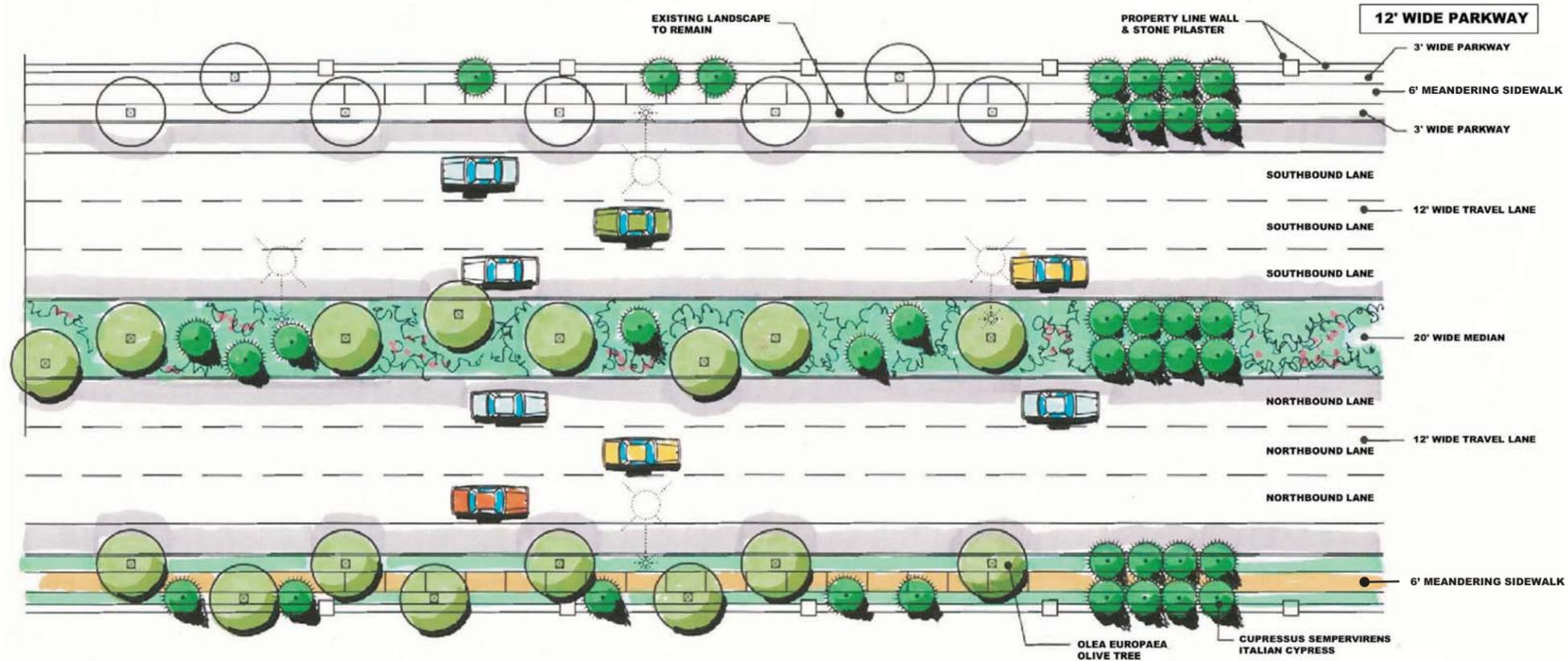
Baseline Avenue: Evergreen Elms, also a tree that creates a broad shade canopy, is planned for Baseline Avenue. In a similar manner to Sierra Avenue, when adjacent to residential areas, a backdrop of informally clustered pines will be provided in the landscape setback area. This consistent backdrop of the evergreen pines will function to link together and unify the various streetscapes within the community. This design approach is also provided for South Highland Avenue and Juniper Avenue, discussed below.

South Highland Avenue: South Highland Avenue will be designed to be compatible with the Plant palette set forth for the adjacent Auto Center Overlay District. It will include formal rows of the London Plane tree, a stately upright tree that will complement the street scene. London Plane trees, common throughout European cities, are also seen through out the Inland Empire and are well adapted to the climate. When adjacent to residential areas, the backdrop of informally clustered pines will be provided. A layering of shrubs and groundcovers, many which will flower during the spring and summer months, are also located beneath the pines. All edge conditions where perimeter walls occur will also include vines to soften and further enhance the street scene.

Juniper Avenue: A canopy tree with yellow seasonal flowers, the Tipuana Tree, is designated as the primary tree for these this street. These will also form a broad canopy and will create an attractive pedestrian and street streetscape. When adjacent to residential areas, a backdrop of informally clustered pines will be provided in the landscape setback area. This design approach is also provided for South Baseline Avenue and South Highland Avenue.

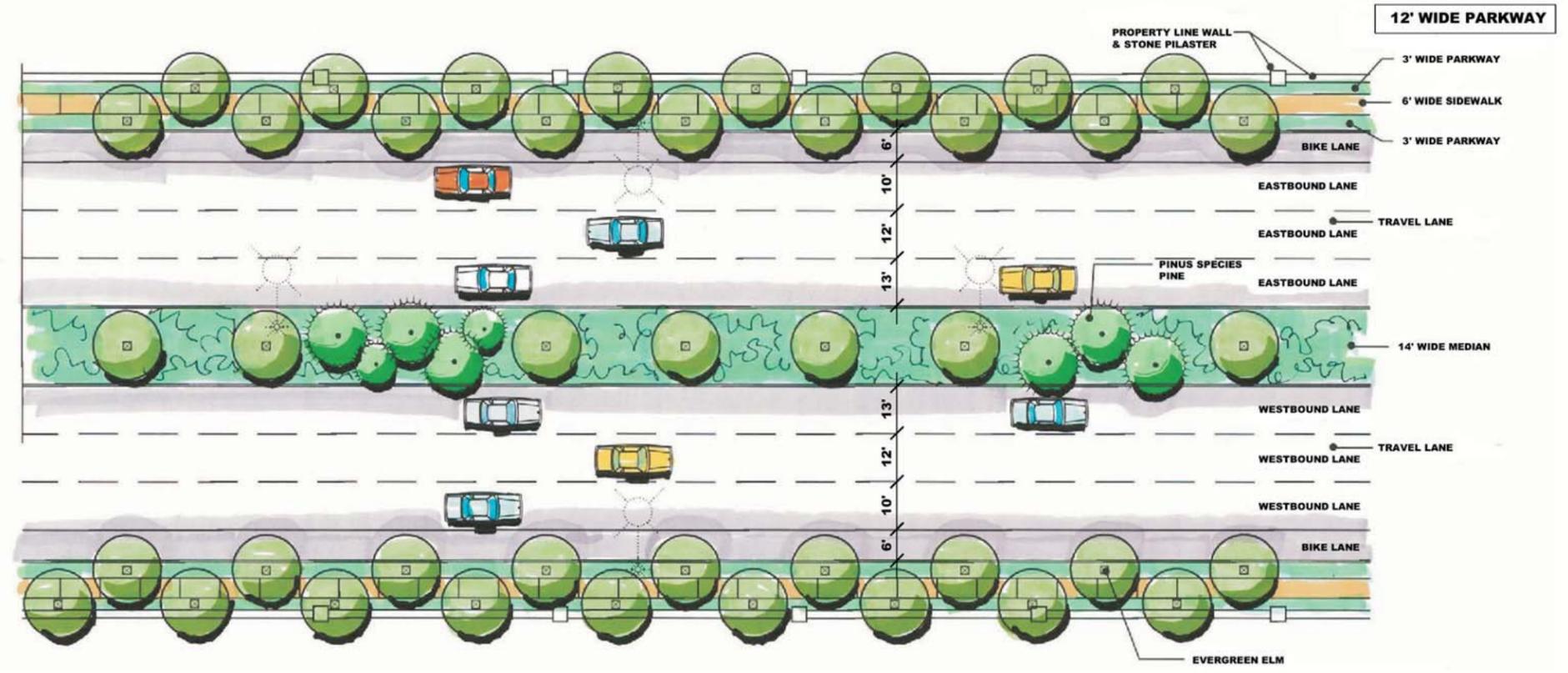
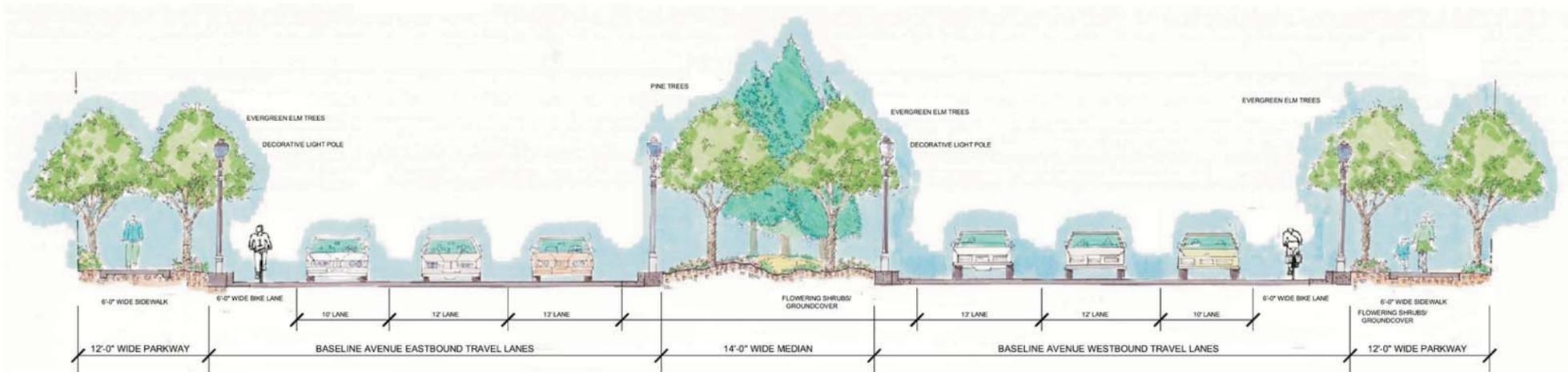
Walnut Avenue & Round About: Walnut Avenue and The Round About will have a canopy tree with yellow seasonal flowers, the Tipuana Tree, which is designated as the primary tree for this street and the Round About. This tree will also form a broad canopy and will create an attractive pedestrian and street streetscape.

Tuscan Promenade/Local Private Streets: Tuscan Promenade, and other private street rights-of-way within the Specific Plan project area will have canopy trees selected from the approved plant palette of trees and shrubs. A layering of shrubs and groundcovers, many which will flower during the spring and summer months, are also located beneath the pines. All edge conditions where perimeter walls occur will also include vines to soften and further enhance the street scene.



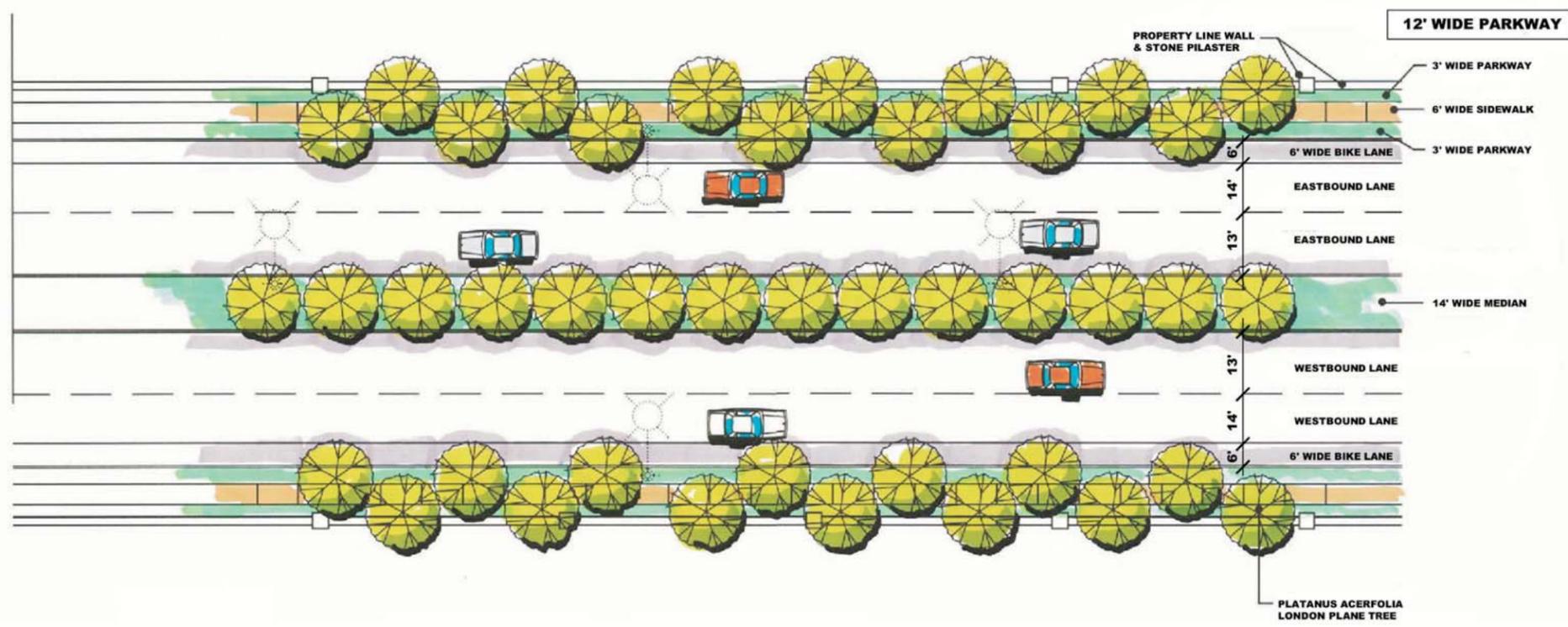
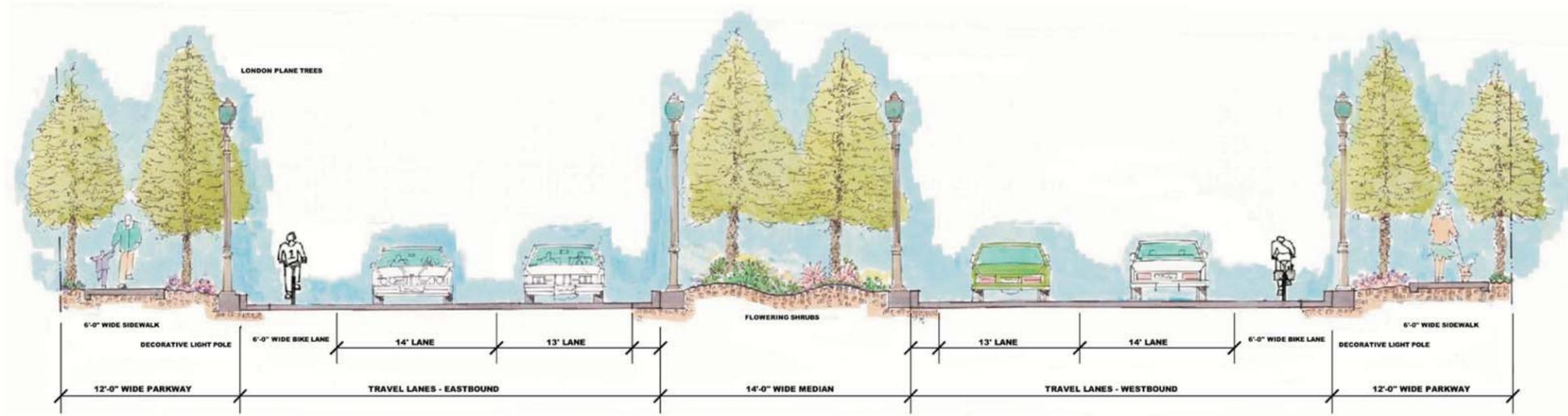
SIERRA AVENUE
MAJOR HIGHWAY 132' R-O-W

FIGURE 23a
STREETSCAPE
GUIDELINES



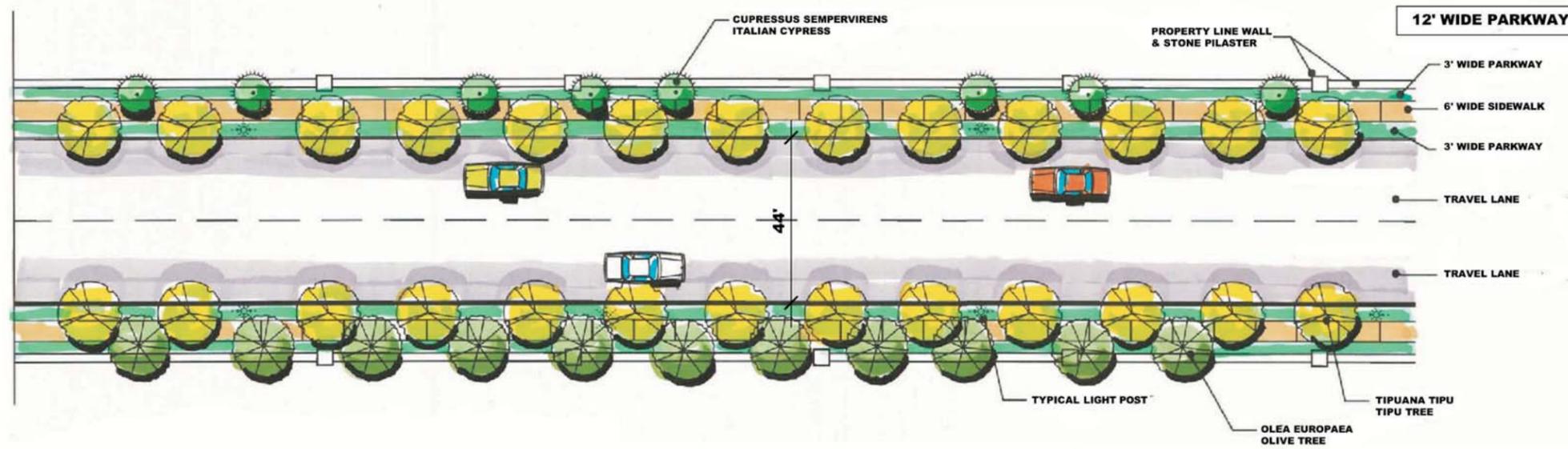
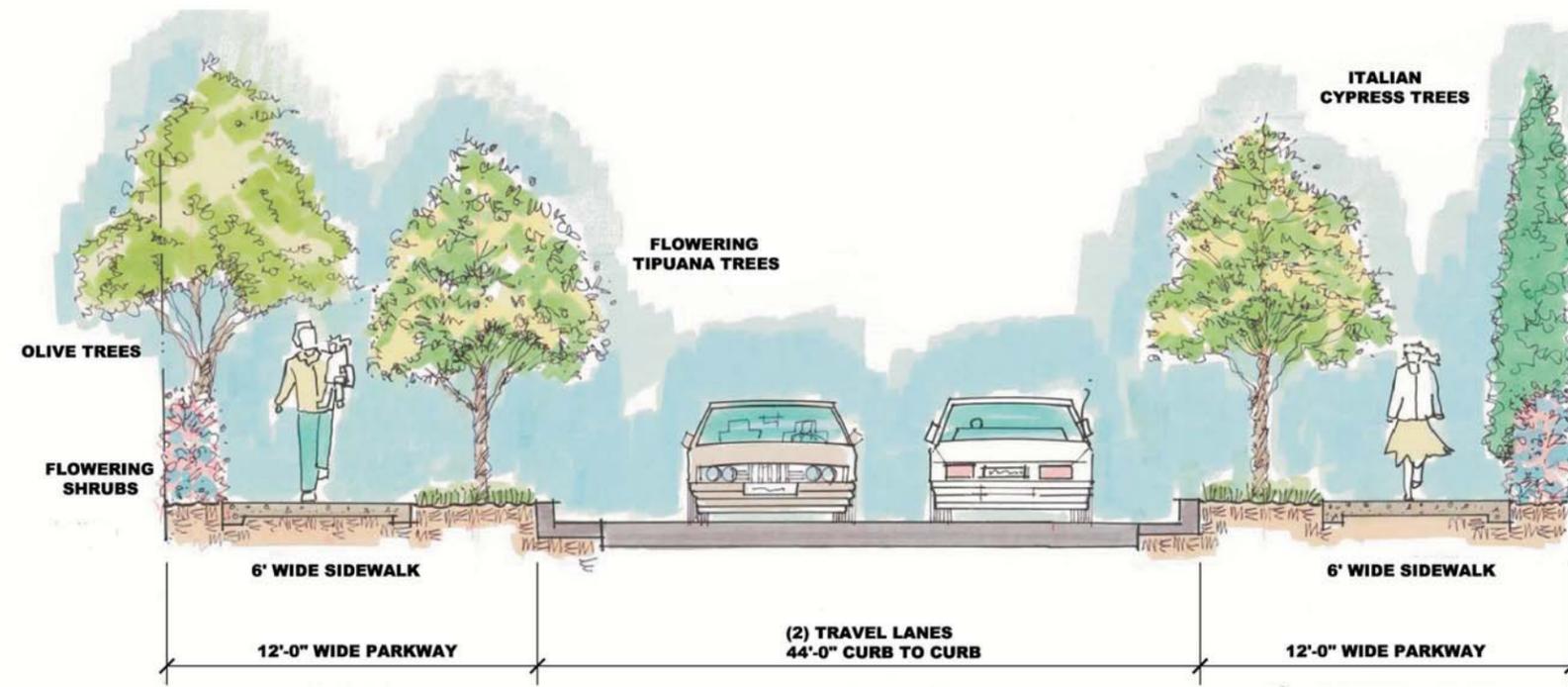
**BASELINE AVENUE
 MODIFIED MAJOR HIGHWAY 120' R-O-W**

**FIGURE 23b
 STREETScape
 GUIDELINES**



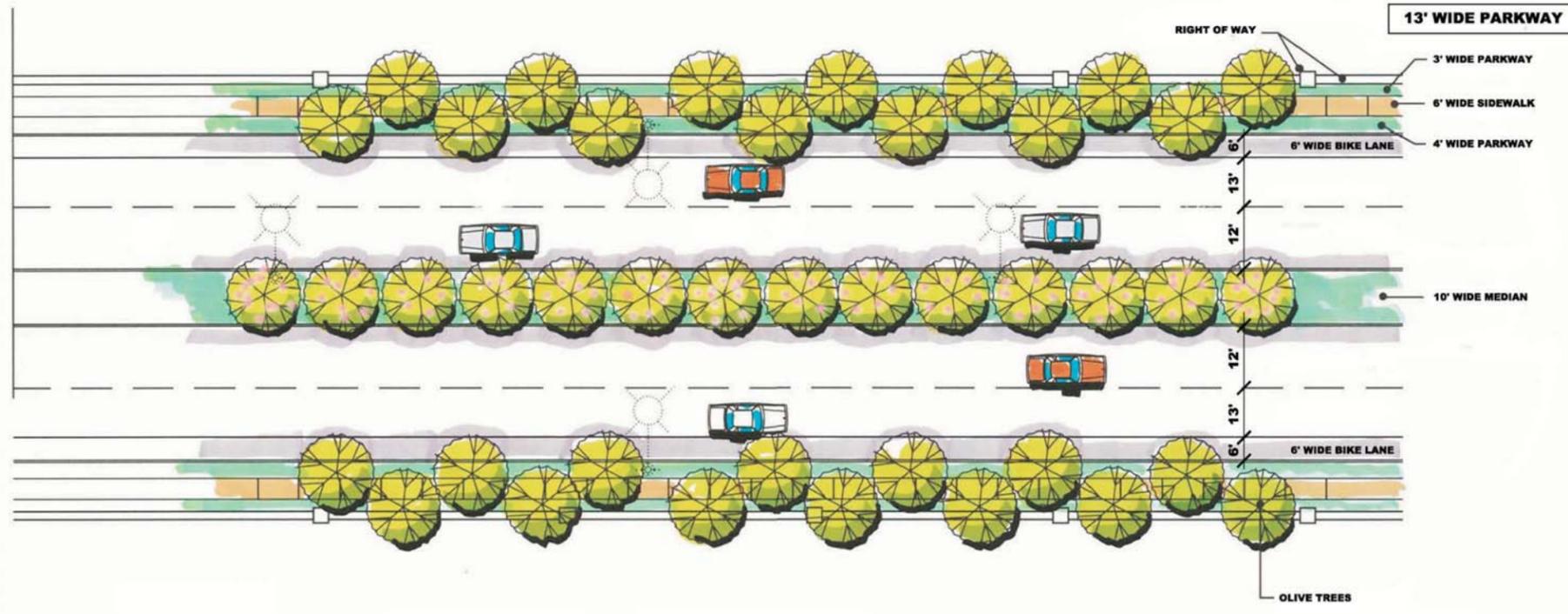
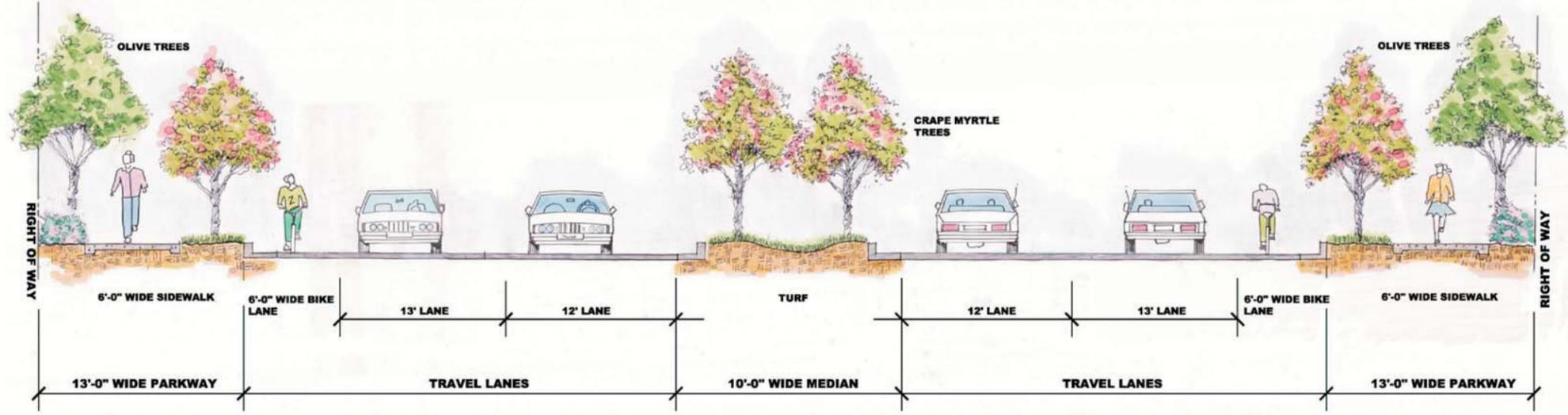
SOUTH HIGHLAND AVENUE
PRIMARY ROADWAY 104' R-O-W

FIGURE 23c
STREETSCAPE
GUIDELINES



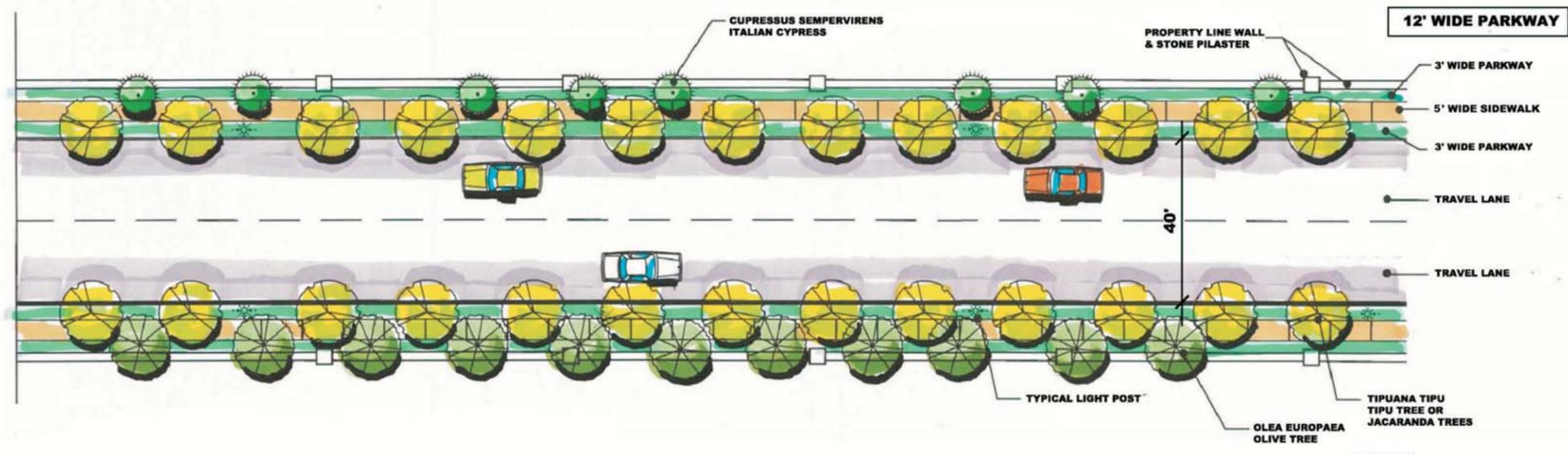
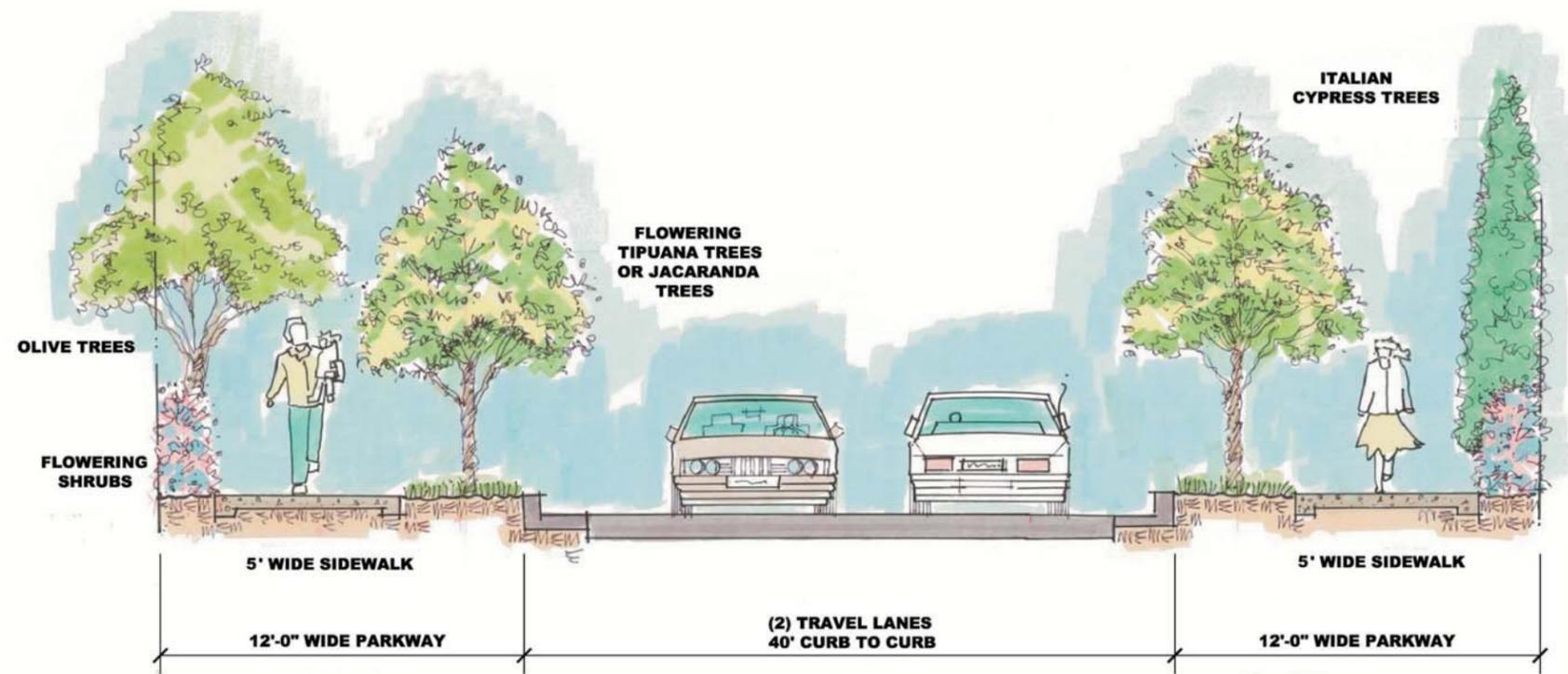
JUNIPER AVENUE
COLLECTOR 68' R-O-W

FIGURE 23d
STREETScape
GUIDELINES



WALNUT AVENUE
MODIFIED COLLECTOR 98' R-O-W

FIGURE 23e
STREETSCAPE
GUIDELINES



**TUSCANA PROMENADE
 LOCAL STREETS 64' R-O-W**

**FIGURE 23f
 STREETScape
 GUIDELINES**

5.7 ENTRY, MONUMENT, TOWER FEATURES AND FOUNTAIN GUIDELINES

A combination of unique architectural elements will establish an exciting and impressive visual identity for The Promenade and for the City of Fontana at this “Gateway” location. This includes major entry monuments, tower features and fountains throughout the Specific Plan project area.

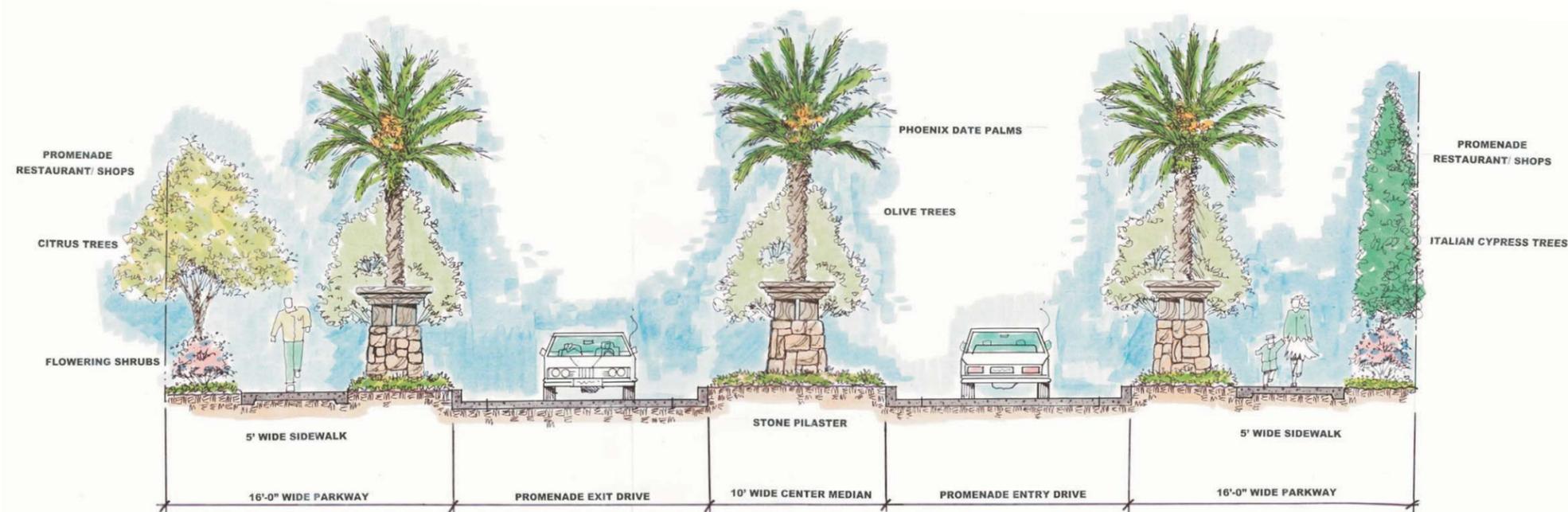
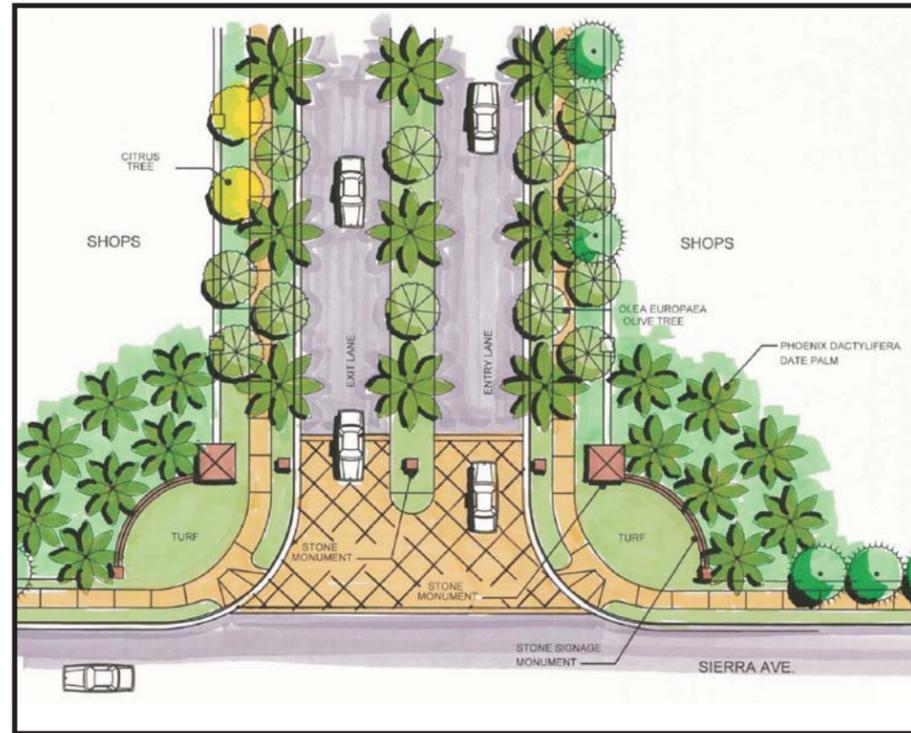
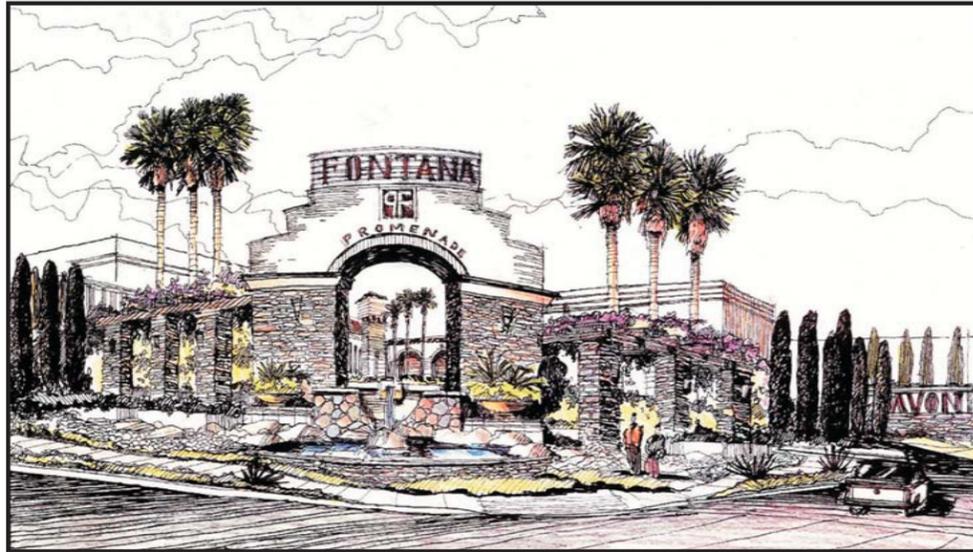
Upon entering The Promenade from the I210 Freeway, the motorist will be greeted by major entry monuments at the southwest and northwest corners of Sierra Avenue and South Highland Avenue. The archway monument at the southwest corner of Sierra Avenue and South Highland Avenue provides a “window” into The Promenade that will reflect the quality Tuscan/Mediterranean theme of the project, and will create an entry portal and sense of arrival. A fountain will be a further focal point near the arch. This will be complemented by the Auto Center Entry Monument and fountain that is located at the northeast corner of Sierra Avenue and South Highland Avenue. Together, these two entry statements will create a feeling of arrival into a special area of Fontana. Refer to Figure 24a for the design of these two key entry statements.

The major focal point of The Promenade is the “*Ponte Promenade*” pedestrian bridge, while the major monument and tower feature in the “*Campanile*” in the center of the Ponte Promenade bridge over the Round About along Walnut Avenue, in Planning Area 2. The bridge in Planning Area 2 ties Planning Areas 1, 3 and 4 together on both sides of Walnut Avenue. The “*Campanile*” will be visible throughout the project area and beyond, and will be lit at night. Small shops could overhang the bridge and individual kiosks and carts would line the *Ponte Promenade*, making it a central focal point of activity within The Promenade. Figures 17 and 18 provide conceptual renderings of this key focal point within The Promenade.

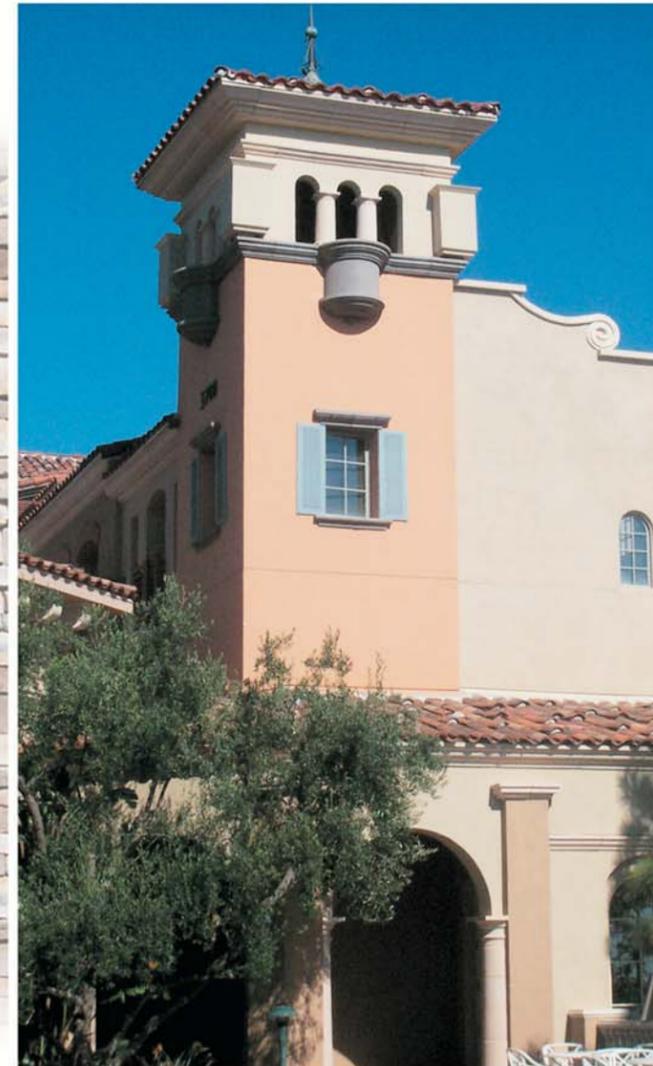
Tower features are required on all major commercial and mixed-use buildings within Planning Areas 1, 2, 3, and 4. Smaller entry monuments are required at each major entry into The Promenade Commercial Center, including Sierra Avenue and Walnut Avenue, Juniper Avenue and Walnut Avenue, and Sierra Avenue and Main Street Promenade. Figure 24b provides conceptual illustrations of the entry monuments planned for this intersection. Entry monuments and tower features are also encouraged within the residential planning areas south of Walnut Avenue.

Fountains add significantly to the quality of site amenities. Falling and flowing water can mask vehicle noise and add greatly to the Mediterranean/Tuscan design theme. They can provide an oasis within a hot, dry climate. Fountains can be interactive that allow people to cool off and have fun. Because of occasional strong winds, fountains should be carefully designed to minimize over spray in unwanted areas. Figure 24c provides sample fountain designs that are encouraged in key locations throughout the Specific Plan project area.

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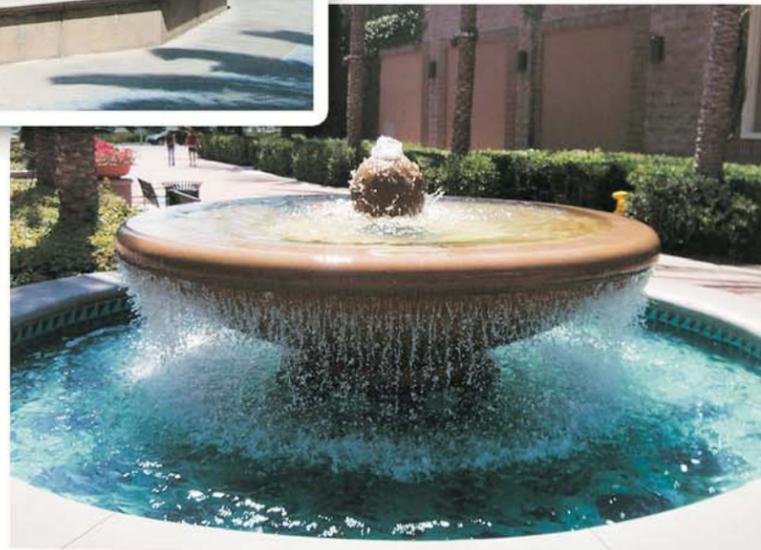
**FIGURE 24a
 ENTRY, MONUMENT,
 TOWER FEATURES &
 FOUNTAIN GUIDELINES**



Tower Design Standards:

- ❖ Tower features should be incorporated into most commercial structures
- ❖ Tower features can be entry monuments
- ❖ Towers provide visual interest as entry features and provide shade
- ❖ Stacked stone should be used on walls and lower portions of towers

**FIGURE 24b
ENTRY, MONUMENT,
TOWER FEATURES &
FOUNTAIN GUIDELINES**



Fountain Design Standards:

- ❖ Interactive children's fountain near the Food Court
- ❖ Fountains need to be low profile or protected from wind to reduce overspray
- ❖ Larger flowing fountains help mask traffic noise
- ❖ Fountains should be combined with other pedestrian amenities

**FIGURE 24c
ENTRY, MONUMENT,
TOWER FEATURES &
FOUNTAIN GUIDELINES**

5.8 WALL, FENCES AND SCREENING GUIDELINES

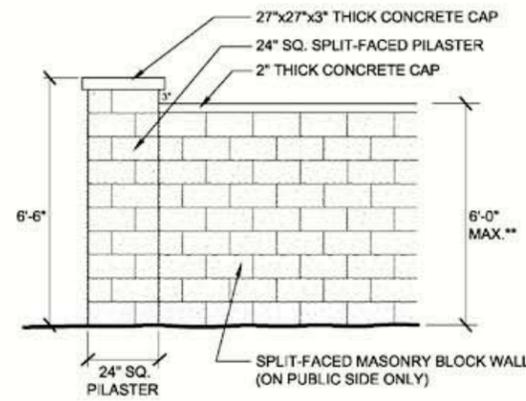
Community walls and fences will be utilized where residential uses are adjacent to major and secondary arterial roads, and smaller collectors, including Sierra Avenue, Baseline Avenue and Juniper Avenue. Figure 25 provides photographs of typical theme walls, fencing and screening of trash enclosures, truck loading areas and above-grade utilities.

Community Theme Walls: Community theme walls will be articulated with a textured split face block and a concrete cap that provides a finished appearance. The textured wall will also be tan in color to complement the Tuscan community theme. Subject to the acoustical study, view fencing will be provided to create a variation and further articulation in the street scene. These walls and fencing shall generally not exceed six (6) feet in height, unless necessary for noise attenuation or other special circumstances. Vines such as Boston Ivy will be required to be planted on the public facing side of all community walls to create an attractive backdrop and layering of design elements within the streetscapes.

Community Masonry Walls: Community masonry walls will be required between single-family detached homes. These will provide enclosure for private patios. Wood privacy fencing is not permitted within the residential planning areas.

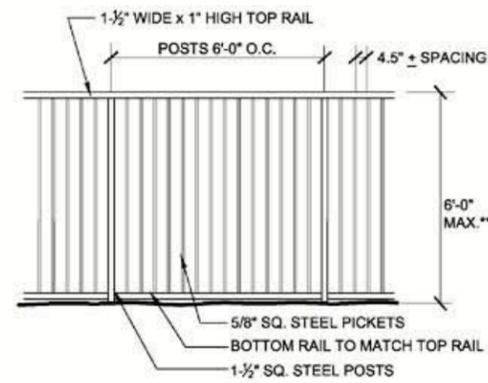
Community View Fencing: The community view fences will be located to create variety and articulation to the streetscapes and to the perimeter of the site. They will also provide view windows between the villages and the public realm. The locations adjacent to the major roads are subject to the acoustical study. Wood community view fencing is not allowed. This type of fencing will be constructed out of wrought iron or tubular steel. Pilasters are also required for this type of fencing.

Screening: All trash enclosures will be screened from view within public parking lots and along public and private rights-of-way, with masonry block walls and roofs that match the adjacent building architecture. All roof-mounted mechanical equipment will be screened from ground level views. All utility infrastructure shall be screened from public view to the greatest extent feasible. All commercial loading docks and areas shall also be screened from view to the greatest extent feasible.



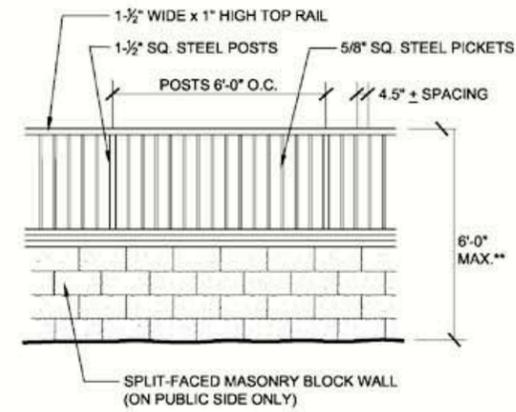
COMMUNITY THEME WALL

NOTE: 6' 0" MAXIMUM WALL HEIGHT UNLESS OTHERWISE REQUIRED FOR NOISE ATTENUATION. PLASTER AT CORNERS AND AT 200 FEET ON CENTER MAXIMUM.



VIEW FENCE

NOTE: ALL TUBULAR STEEL TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF BLACK PAINT.



COMBO WALL/VIEW FENCE

NOTE: ALL TUBULAR STEEL TO RECEIVE 1 COAT OF PRIMER AND 2 COATS OF BLACK PAINT.

**NOTE: IN CASES WHERE WALLS OR FENCES STEP UP OR DOWN A SLOPE, THE MINIMUM HEIGHT SHALL BE NO LESS THAN 5'-4" AND NO GREATER THAN 6'-0".



**FIGURE 25
COMMUNITY THEME
WALLS, FENCES &
SCREENING GUIDELINES**

5.9 OUTDOOR LIGHTING GUIDELINES

All commercial and residential development in shall have uniform lighting standards with regard to style, materials, and colors in order to ensure a consistent and unified design. Each residential development may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the individual development area. Lighting within the retail/office/mixed-use areas should create a unified theme. Pedestrian corridors within The Promenade shall be well lit with distinctive and uniform light standards and or bollards. All lighting fixtures in The Promenade Specific Plan project area shall comply with the following guidelines and provisions:

- All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize glare and illumination of streets or adjoining property.
- Lights shall be break resistant plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
- Up lighting is required on all buildings and trees within the commercial and mixed-use planning areas.
- Neon and similar types of lighting are prohibited in all areas of the Specific Plan except in retail commercial developments.
- Community entry areas and public plazas in the retail site should be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Parking lots and commercial building entrances shall be well lighted for security reasons.
- All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties, except for up lighting on trees and buildings.
- No freestanding lighting fixtures shall exceed forty feet (40') in height, unless approved by the Director of Community Development.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls.
- Commercial project entry features should be illuminated, including the signage and/or logo.
- All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.
- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Fontana. Energy conservations, safety and security should be emphasized when designing any light system.
- All community landscape common areas, private facilities, commercial sites, streetscapes, and other use areas may, at the discretion of the project developer or builders, contain accent or other night lighting elements.

Prior to the approval of any individual commercial, mixed-use or residential tract map, schematic lighting plans shall be reviewed and approved through the Development Review Board plan check process. Figure 26 provides samples of a variety of outdoor lighting fixtures that are encouraged throughout the Specific Plan project area.



Pathway Bollard Lighting



Major and Local
Private Streets



Parking Lots



Retail Shops



Landscape Up-Lighting



Specimen Tree Lighting

**FIGURE 26
OUTDOOR LIGHTING
GUIDELINES**

6.0 METHODOLOGY AND PROCEDURES

The Promenade Specific Plan serves as the Zoning and General Plan implementation document for the subject, as set forth in the Fontana Zoning and Development Code, Chapter 30, Article II, Division 9, Sections 30-61 and 30-62. The following sections establish the methods needed to implement the approved Specific Plan and the procedures required for amendment of the Specific Plan, if necessary.

6.1 SPECIFIC PLAN ADOPTION

Government Code Section 65453(a) states that:

AA Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.@

The Promenade Specific Plan will be adopted by Ordinance in accordance with City of Fontana established policy.

The Promenade Specific Plan has been developed as both a regulatory document and a land use policy plan. The development regulations have been structured to be consistent with the City of Fontana Zoning and Development Code, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of The Promenade Specific Plan are oriented to land use policies and include background and project information, planning policies, design guidelines, conceptual plans and infrastructure proposals

6.2 IMPLEMENTATION

The Promenade Specific Plan will be implemented through the processing of tract maps, parcel maps, and site plans. The implementation process, as described below, provides the mechanism for reviewing precise development plans and ensuring development consistency with the Specific Plan objectives. An implementation process for the amendment of this Specific Plan and for findings of Substantial Conformance to this Specific Plan is also provided below. All development within The Promenade Specific Plan project area is subject to the implementation procedures described in the following section.

6.3 PROCEDURES FOR REVIEW, APPROVAL AND AMENDMENTS

SITE PLAN REVIEW

Purpose: The purpose of this section is to provide a process for the implementation and review of all site plans, which will be required to implement the development and construction of this Specific Plan. An application for design review is required prior to the issuance of a residential building permit within the Specific Plan area.

Time Limitations: Each design approval granted through the Design Site Plan Review process shall become null and void two years after the date of approval, unless:

- 1) Building permits have been obtained and successful completion of the first building and safety division inspection has commenced within this period.
- 2) Any valid design review in effect at the date of adoption or amendment of this Specific Plan shall remain valid for a period of two years from the date of that design review approval or design review amendment. No further extension of time shall be granted for such design review upon expiration of that two-year period.

Pre-application Conference: Prior to the filing of an application for design review, the applicant or the applicant's representative may hold a pre-application conference with the Planning Manager and other designated staff from other departments and divisions to review the procedures and criteria for the design review process.

Application: An application for a design review shall be filed with the Planning Division in a manner prescribed by the Planning Manager, including but not limited to, plans and elevations. Further, any improvements, which are depicted on any colored rendering, elevation, or drawing which is presented to the planning commission in conjunction with a development application, shall be installed pursuant to their appearance in that colored rendering, elevation, or drawing.

Notice: Notice of hearings for design review shall be as set forth in the City of Fontana Zoning and Development Code.

DEVELOPMENT ADVISORY BOARD

Design Site Plan Review applications shall be considered by the Development Advisory Board (D.A.B.), which is the reviewing body for such applications. The D.A.B. shall review the application and make a recommendation to the Planning Commission, which is the final authority under this process, unless an appeal to the City Council is timely filed and considered. The D.A.B. shall review each development proposal in an expeditious manner to determine if the application is complete.

To recommend that development project be forwarded to the Planning Commission, the D.A.B. must find from the facts presented that the following conditions exist:

- 1) The design and layout of the proposed development is consistent with the applicable elements of the general plan, and the proposal is consistent with the City of Fontana General Plan and this Specific Plan.
- 2) The design and layout of the proposed development will not interfere with the use and enjoyment of neighboring developments, or pedestrian and vehicular circulation.
- 3) The architectural design of the proposed development is aesthetically pleasing while enhancing the character of the surrounding neighborhood and will promote quality development envisioned by this Specific Plan.
- 4) The design of the proposed development would provide a desirable environment for its tenants and neighbors through the use of materials, texture and color in an aesthetically pleasing manner.
- 5) The proposal meets or exceeds the special requirements of this Specific Plan and the applicable standards of the City's Zoning and Development Code.

- 6) The proposed project is in compliance with all applicable federal, state, county, and city laws and regulations.

Appeals: Appeals shall be made as specified by the City of Fontana's Zoning and Development Code.

AMENDMENTS TO DESIGN SITE PLAN REVIEW

Any non-expired approved design review site plan is eligible to apply for an amendment pursuant to the amendment process outlined in the City of Fontana's Zoning and Development Code.

SPECIFIC PLAN AMENDMENTS

Approval of this Specific Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for The Promenade Specific Plan. It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during the development of the project. Any modifications to the Specific Plan shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories.

The first category, "Substantial Conformance," as defined below, allows for minor changes to the Specific Plan without a public hearing and may be approved by the Planning Manager. All other proposed changes are considered Formal Amendments and are required to be reviewed for approval by the Planning Commission and the City Council. In all cases amendments must be found to be in substantial conformance with the goals and standards of The Promenade Specific Plan.

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. If the Director of Community Development deems the Amendment major, it will be processed in the same manner as the original Specific Plan. Proposed amendments deemed to be minor modifications by the Planning Manager, as defined herein, will be processed administratively by the Administrative Review process.

Depending upon the nature of the proposed Specific Plan Amendment, a supplemental environmental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162.

Substantial Conformance: Upon determination by the Director of Community Development, certain modifications to the Specific Plan text, graphics, and/or project design may not require Formal Amendments (i.e., through public hearing). The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Director of Community Development. The Director of Community Development, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- Expansions or reductions of the net acreage covered by a given Planning Area by 15% or less.
- Decrease in project density.
- Adjustment of planning areas so long as the total acreage of that planning area does not decrease or increase by more than 15% of that stated within this Specific Plan.
- Transfer of units between planning areas of 15% or less.

- Realignment or modifications of streets serving the project, lot lines, easement locations, and grading adjustments, if also approved by the City Engineer.
- Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.
- Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the City Engineer.
- Final facility sizing and precise location of water, sewer and storm drainage improvements when directed by the City Engineer.
- Change in utility and/or infrastructure servicing agency.
- Collector or public road alignment revisions when the centerline moves by less than 10 feet.
- Landscape, wall material, wall alignment and streetscape design modifications, which are consistent with the design guidelines contained in this document as determined by the Development Advisory Board.
- Modifications to Architectural Design Guidelines, such as variations of materials within the particular architectural style and minor variations in colors.
- Revisions to project graphics, which do not substantially change the intent of the graphics in The Promenade Specific Plan.
- Modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- Specific modifications of a similar nature to those listed above, which the Director of Community Development deems minor, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.
- Any other proposed changes that are determined by the Director of Community Development to be minor modifications.

Formal Amendments: All Specific Plan modifications, which do not meet the criteria of a Substantial Conformance as defined in this section, shall be deemed to require a Formal Amendment. This Specific Plan was prepared pursuant to California Government Code 65450, et. seq. Amendments to the Specific Plan shall be processed in accordance with applicable requirements of law, which include Section 65450, et. seq. of the California Government Code.

Formal Amendments shall be subject to the review and approval of the City Council. The Planning Commission shall first hear and consider all applications for Formal Amendments to the Specific Plan. The Planning Commission shall prepare a recommendation and findings on all applications for Formal Amendments to the City Council. As required by the California Government Code, all agencies significantly affected by the Formal Amendment shall be notified of the proposed action prior to the approval of the Formal Amendment. In addition, and as required by the California Environmental

METHODOLOGY AND PROCEDURES

Quality Act (CEQA), Formal Amendments to the Specific Plan shall be appropriately reviewed in accordance with the State CEQA Guidelines, with the City of Fontana serving as lead agency.

Any Formal Amendment to this Specific Plan initiated by an applicant shall require preliminary review by the City of Fontana Director of Community Development, filing of an official application and required materials supporting the amendment, submittal of a fee deposit, Planning Commission review and recommendation and City Council review and final decision.

The City Council or Planning Commission also may initiate amendments by a majority vote. All requested Planning Commission amendments shall be submitted and considered by the City Council and accepted for processing by a majority vote. Staff may initiate an amendment by submitting the requested amendment to the Planning Commission for a vote. Only the amendments accepted by majority vote of the Planning Commission shall be submitted to the City Council for consideration. The amendment shall only be accepted for processing by majority vote of the City Council.

In considering approval or disapproval of Formal Specific Plan Amendments, the City Council shall find that the proposed Amendment is in compliance with the following:

- 1) The proposed Amendment is consistent with the General Plan and its Elements in effect at the time of consideration.
- 2) The proposed Amendment does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety, or general welfare.
- 3) The proposed Amendment is consistent with the overall design character and general community structure of The Promenade as set forth in the Specific Plan's Design Guidelines (Section 5).
- 4) The proposed Amendment is not likely to cause substantial environmental damage, or substantially and avoidably injure significant wildlife, or their habitat.

Effective Date: All Amendments per this Section adopted by ordinance shall take effect thirty (30) days after final adoption by the City Council.

Property Owner List

NO	PARCEL	OWNER	ADDRESS	CITY/STATE/ZIP
1	0240 091 04 0000	WAL-MART STORES INC	1301 Se 10th St Mail S #0550	Bentonville Ar 72716
2	0240 091 05 0000	WAL-MART STORES INC	1301 Se 10th St Mail S #0550	Bentonville Ar 72716
3	0240 091 06 0000	WAL-MART STORES INC	1301 Se 10th St Mail S #0550	Bentonville Ar 72716
4	0240 091 07 0000	WAL-MART STORES INC	1301 Se 10th St Mail S #0550	Bentonville Ar 72716
5	0240 091 08 0000	WAL-MART STORES INC	1301 Se 10th St Mail S #0550	Bentonville Ar 72716
6	0240 091 09 0000	Long Lee	711 Pacific Coast Hwy #403	Huntington Beach Ca 92648
7	0240 091 10 0000	Khaja Mohiuddin	535 W Huntington Dr	Monrovia Ca 91016
8	0240 091 11 0000	Long C Lee	711 Pacific Coast Hwy #403	Huntington Beach Ca 92648
9	0240 091 12 0000	Isam F Hanna	Po Box 9714	Brea Ca 92822
10	0240 091 13 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
11	0240 091 14 0000	Dev Hillview	711 Pacific Coast Hwy #403	Huntington Beach Ca 92648
12	0240 091 15 0000	Dev Hillview	711 Pacific Coast Hwy #403	Huntington Beach Ca 92648
13	0240 091 16 0000	SERENE INVESTMENT LLC	N/avail	00000
14	0240 091 17 0000	Long C Lee	711 Pacific Coast Hwy #403	Huntington Beach Ca 92648
15	0240 091 18 0000	OAK HILLS HOLDING LLC	869 W 17th St	Upland Ca 91784
16	0240 091 19 0000	Mary A Toman	2833 Via Anacapa	Palos Verdes Estates Ca 90274
17	0240 091 20 0000	Long Chen Lee	711 Pacific Coast Hwy #403	Huntington Beach Ca 92648
18	0240 091 23 0000	WAL-MART STORES INC	1301 Se 10th St Mail S #0550	Bentonville Ar 72716
19	0240 091 44 0000	Shih-Tse Chen	2919 E Philadelphia St	Ontario Ca 91761
20	0240 091 45 0000	Earnestine Ashley	7239 Oleander Ave	Fontana Ca 92336
21	0240 091 46 0000	Adelaide J Howell	6831 Juniper Ave	Fontana Ca 92336
22	0240 091 47 0000	Hector Mendez	6835 Juniper Ave	Fontana Ca 92336
23	0240 101 01 0000	PJRJ WALNUT INVESTMENT	10407 Trademark St	Rancho Cucamonga Ca 91730
24	0240 101 02 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
25	0240 101 09 0000	PJRJ Walnut Investmtnt LLC	10407 Trademark St	Rancho Cucamonga Ca 91730
26	0240 101 10 0000	PJRJ Walnut Investmtnt LLC	10407 Trademark St	Rancho Cucamonga Ca 91730
27	0240 101 11 0000	PJRJ Walnut Investmtnt LLC	10407 Trademark St	Rancho Cucamonga Ca 91730
28	0240 101 13 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
29	0240 101 15 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
30	0240 101 21 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
31	0240 101 24 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
32	0240 101 26 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
33	0240 101 27 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
34	0240 101 28 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
35	0240 101 29 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
36	0240 101 30 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
37	0240 101 31 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
38	0240 101 32 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
39	0240 101 33 0000	PJRJ Walnut Investmtnt LLC	10407 Trademark St	Rancho Cucamonga Ca 91730
40	0240 101 35 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
41	0240 111 03 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
42	0240 111 04 0000	PJRJ Walnut Investmtnt LLC	10370 Trademark St	Rancho Cucamonga Ca 91730
43	0240 111 05 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
44	0240 111 06 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
45	0240 111 07 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
46	0240 111 08 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
47	0240 111 09 0000	Sonrise Senior Citizen Villa	7222 Sierra Ave	Fontana Ca 92336
48	0240 111 10 0000	CITY OF FONTANA	8353 Sierra Ave	Fontana Ca 92335
49	0240 111 11 0000	Pac Bell Wireless	5565 Glenridge Connector Ste 530	Atlanta Ga 30342