



Chapter 8.0

Development Standards

The Arboretum Specific Plan provides detailed regulations for new residential development within the specific plan area. The standards are intended to ensure that new residential development will be internally compatible.

Without prescribing specific housing types, the development standards provided herein primarily address the built environment along the public realm. For the purpose of this chapter, the public realm refers to any area that has or will provide public access. This includes public and private streets as well as common open space.

A summary of residential development standards is presented in Table 8.1 at the conclusion of this chapter.

In addition, development standards for the Activity Center as well as Parks and Recreation are provided in this chapter.

8.1 Definition of Terms

- **Acreeage, Gross.** All land within a defined area, including private and public ownerships, rights-of-way, easements, etc., measured to centerline of street.
- **Acreeage, Net.** The developable portion of a given site less public rights-of-way, easements, and public and dedicated open space.
- **Adjusted Gross Acreeage.** Gross acreeage (see above) minus the area for collector streets and above, public facilities (excluding schools), and open space (excluding parks).
- **Balcony.** A platform projecting from the external wall of a building and enclosed by a railing or parapet.
- **Buffer Areas.** An area of land used to visibly separate one land use from another or to shield noise, lights, or other possible nuisances.
- **Buildable Lot Area.** The total gross acreeage of an individual Planning Area.
- **Building Coverage.** The relationship between the ground floor area (footprint) of the building(s) and the buildable lot area.
- **Building Height.** The vertical distance above a reference point measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. The reference point shall be selected by either of the following, whichever yields a greater height of building:
 - The elevation of the highest adjoining sidewalk or ground surface within a 5-foot horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than 10 feet above lowest grade.
 - An elevation 10 feet higher than the lowest grade when the sidewalk or ground surface described above is more than 10 feet above lowest grade.
 - The height of a stepped or terraced building is the maximum height of any segment of the building.
- **Common Open Space.** Land in a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner.
- **Conditional Use.** A use permitted in a particular zoning district only upon showing that such use in a specified location will comply with all the conditions and standards for the location or operation of such use as specified according to zone and authorized by the Planning Commission.
- **Density.** The number of dwelling units or housing structures per acre of land.
- **Development Advisory Board (D.A.B.).** Consists of representatives of the various city departments and public agencies. The D.A.B. serves to review projects for consistency with the general plan, zoning ordinance, and other policies and procedures established by the City Council and Planning Commission on development proposals. The D.A.B is strictly advisory.
- **Dwelling, Single-Family Detached.** A building designed and/or used for one dwelling unit, exclusive of a secondary unit, located on a single lot, and separated from any other dwelling unit and includes detached condos.
- **Easement.** A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation or another person or entity.
- **Floor Area, Gross.** The total horizontal area, in square feet, including the exterior walls of all floors of a structure.
- **Frontage.** The length of that portion of a lot abutting a street.
- **Garage.** A building or portion thereof in which a motor vehicle containing flammable or combustible liquids or gas in its tank is stored or kept.
- **Grade** (adjacent ground elevation). The lowest point of elevation of the finished surface of the ground, paving, or sidewalk within the area between the building and the property line or, when the property line is more than 5 feet from the building, between the building and a line 5 feet from the building.
- **Grade, finished.** The final elevation of the ground surface after development.
- **Grade, natural.** The elevation of the ground surface in its natural state, before man-made alterations.



- **Guest Parking.** On-site parking spaces provided for intermittent use by visitors.
- **Homeowners Association.** A community association that is organized within a development and in which individual owners share common interests and responsibilities for open space, landscaping, and/or facilities.
- **HDR.** High Density Residential.
- **LDR.** Low Density Residential.
- **Lot Area, Net.** See “Buildable Lot Area”.
- **Lot, Corner.** A lot or parcel of land abutting upon two or more streets at their intersection, or upon two parts of the same street forming an interior angle of less than 135 degrees.
- **Lot Coverage.** The percentage of the net area of the lot that is covered by the main building and all accessory structures (as viewed from a plan perspective).
- **Lot, Cul-de-sac.** A lot located on the turning end of a dead-end street.
- **Lot Depth.** The average linear measurement between the front and rear lot lines when measured at 90 degree angles from the front lot line, or the tangent or chord line of a curved front lot line.
- **Lot, Flag.** A lot having access to a street by means of a private driveway access, easement, or parcel of land not meeting the requirements of this Specific Plan for lot width, but having a dimension of at least 30 feet at its narrowest point. Residential structures on flag lots shall also be visible from the street.
- **Lot Frontage.** The length of the defined front lot line measured at the street right-of-way.
- **Lot, Interior.** A lot other than a corner lot.
- **Lot, Knuckle.** A lot that has frontage on the outside turning radius of two intersecting streets.
- **Lot Line.** Lines bounding a lot as defined herein.
- **Lot Line, Front.** The line separating the narrowest street frontage of the lot from the street right-of-way.
- **Lot Line, Rear.** The lot line opposite and most distant from the front lot line; or in the case of an irregularly shaped lot, a straight line not less than 10 feet long, within the lot, and most nearly parallel to and at the maximum distance from the front lot line.
- **Lot Line, Side.** Any lot lines other than the front or rear lot lines.
- **Lot Width.** The average linear distance between side lot lines when measured at a 90 degree angle to the front lot line.
- **Maximum Lot (Building) Coverage.** The maximum area of the lot that may be covered by buildings and roofed structures. This may be expressed in square footage or as a percentage of the minimum lot area.
- **MDR.** Medium Density Residential.
- **Minimum Lot Area.** The amount of land that must be contained in a lot for each dwelling unit to be built on that lot. This ratio is typically applied in multiple-family zones. In single-family zones, it is the same as minimum lot size.
- **Paseo.** A landscaped corridor with a common path.
- **Setback Area.** The minimum distance required by zoning to be maintained between two structures or between a structure and a property line.
- **Specific Plan.** A fully planned community, with all design controls, servicing requirements and financing techniques incorporated into the plan, which is adopted with a self-contained regulatory text and serves to implement the general plan in more detail.
- **Yard, Front.** A yard extending the full width of the lot between the front lot line and a line parallel thereto and passing through the nearest point of the building; provided that, if a future street right-of-way has been established, such measurement shall be from the future street right-of-way line.
- **Yard, Rear.** A yard extending the full width of the lot between the rear lot line and a line parallel thereto. For through lots, if a future street right-of-way has been established, such measurement shall be from the future street right-of-way line.
- **Yard, Side.** A yard between the side lot line and a line parallel thereto and extending from the front yard to the rear yard.



8.2 General Notes

1. The maximum number of residential dwelling units permitted by The Arboretum Specific Plan shall be 3,526. The approximate number of dwelling units within each residential planning area is established in Chapter 4, Community Structure. Each planning area contains a target adjusted gross density and an approximate number of dwelling units. During the site plan and tentative map stage of design, the actual number of dwelling units allocated to a particular planning area may differ slightly from the number shown on the Land Use Plan. Up to 10 percent of the R-MF 3.0-8.0 units in a particular residential planning area may be transferred to another R-MF 3.0-8.0 planning area, provided the maximum unit count for the Specific Plan as a whole does not exceed 3,526 units. Up to 15 percent of the R-MF 8.1-24.0 units in a particular residential planning area may be transferred to another R-MF 8.1-24.0 planning area, provided the maximum unit count for the R-MF 8.1-24.0 residential uses as a whole does not exceed 2,913 units.
2. Minor boundary, density, and acreage variations (up to 10 percent) in the planning areas shall be permitted, subject to approval of the Director of Community Development, without an amendment to the Specific Plan document.
3. Development standards relating to parking, signage, lighting, room additions, pools, spas, and accessory structures are not included in this Chapter and shall conform to City of Fontana Zoning and Development Code.
4. Performance standards for noise, vibration, light and glare, odors, and electromagnetic interference shall comply with the City of Fontana Zoning and Development Code and any supplemental performance standards contained in the project's CC&Rs.
5. All private streets within the Specific Plan shall be permanently reserved and maintained for their intended purpose by a means acceptable to and enforceable by the City of Fontana. Access for emergency vehicles shall be maintained at all times.
6. The project may incorporate future live/work land uses in the Specific Plan area, in the Arboretum village around the Arboretum Park. The "work" component of the live/work uses should be comprised of uses such as architects, accountants, florists, and other uses that complement the Arboretum theme. If live/work uses are desired in the future, they shall be developed under the provisions of the zoning ordinance, if applicable. Alternatively, a Specific Plan Amendment may be needed to regulate permitted and conditionally permitted uses and to regulate the appearance of the built environment. Any future live/work uses will also be regulated by the project CC&R's. In no case shall new live/work uses exceed the maximum dwelling units and square footage permitted by the land use plan (Figure 4.2) without a Specific Plan Amendment and the appropriate environmental review.
7. The Fontana Zoning and Development Code shall apply regarding the keeping of animals on residential property, in addition to the project's CC&Rs.
8. The Fontana Zoning and Development Code shall apply to all private swimming pools, spas, and hot tubs.
9. Recreational vehicle and oversized vehicle parking requirements on private streets and driveways shall be as stipulated by the City of Fontana Municipal Code and/or the project's CC&Rs.
10. HOA, or the majority property owner, when necessary, shall petition the Fontana City Council to enforce the California Vehicle Code on private streets within The Arboretum Specific Plan communities, pursuant to Fontana City Code 17-38.
11. Parking in private drives shall be restricted by the project's CC&Rs.
12. A maximum of four lots (6,000 square feet or larger) per village, with a maximum of two lots per Planning Area, may be designed as flag lots. The Planning Commission may choose to allow more at their discretion.

13. Staggered building placement required for variation in streetscape shall not encroach into the minimum required setback area for any given lot (variations in building footprints shall be set back from the minimum front yard setback required).
14. The San Bernardino County Fire Department requires that projects provide an appropriate number of ingress and egress points into each village and their associated Planning Areas will require Fire Department approval.
15. The majority of the properties in the Specific Plan are owned by a single landowner. The remaining properties with residential designations are owned by two separate entities that have not yet determined if they would like to be a part of the larger Arboretum neighborhoods or if they will develop as separate, individual projects. If the property owner elects to develop the site independently, appropriate emergency vehicle access (EVA) must be provided as required by the San Bernardino County Fire Department.

If the properties are not developed as separate neighborhoods, but are included as part of the larger development concept, the planning area may participate in Village amenities and develop at densities up to Medium density, so long as the total number of units does not exceed the maximum number of units allowed by the Specific Plan in each village.

16. The approval of this specific plan does not relieve the design professional engineer from adhering to current City standards and standard engineering practices in place at time of plan development as approved by the City Engineer.
17. Development standards in this chapter are based on lot size (or a range of sizes) as measured in square feet. The referenced lot size represents a general product type and is not meant to limit development to only those square footages explicitly identified. For example, a traditional single family lot of 6,000 square feet includes any lot from 6,000 square feet to less than 7,000 square feet in size.

8.3 Residential Development Standards

The residential development standards presented in this chapter have been devised to define the relationship of private space (i.e. homes) within the project to the public realm. In other words, these development standards delineate, categorize, and regulate the built environment along edge conditions, which includes any area that has or will provide public access, such as streets, common open space, and other edge conditions. By characterizing the feel of the relationship between the built environment and the adjacent public realm through development standards, considerable flexibility is allowed in choosing appropriate residential product types while still ensuring a uniformity of well-defined spaces within the project. Residential development standards are defined by product type for the following products: products with densities 3.0-8.0 du/ac (with variations between traditional single family lots 3,000-6,000 square feet in size and multifamily products), products with densities of 8.1-16.0 du/ac, and products with densities of 16.1-24.0 du/ac.

8.3.1 Layers

The relationship between the built environment and public realm is defined by a series of layers. The layers delineate and characterize space found between elements of the public realm, such as street right-of-way or landscape easements, and the architectural features of the built environment.

Layers are customized according to the level of community structure being addressed, including the community, village and neighborhood levels. For example, the standards devised for community edges are different than those devised for the intimate spaces found within individual neighborhoods.

Standards also vary according to residential density for each layer, (i.e., R-MF 3.0, R-MF 18.0). For example, standards defining spaces relating to structures with fourth-story building elements would not be applicable to R-MF 3.0, as having four stories is prohibited in this residential density. But such standards would be relevant to high density areas within the project, such as R-MF 18.0.

Building sections and isometric diagrams have been provided to illustrate the development standards for each level of the community structure (community, village and neighborhood) as well as other private/public realm conditions found in The Arboretum Specific Plan (paseos, parks, drive isles).



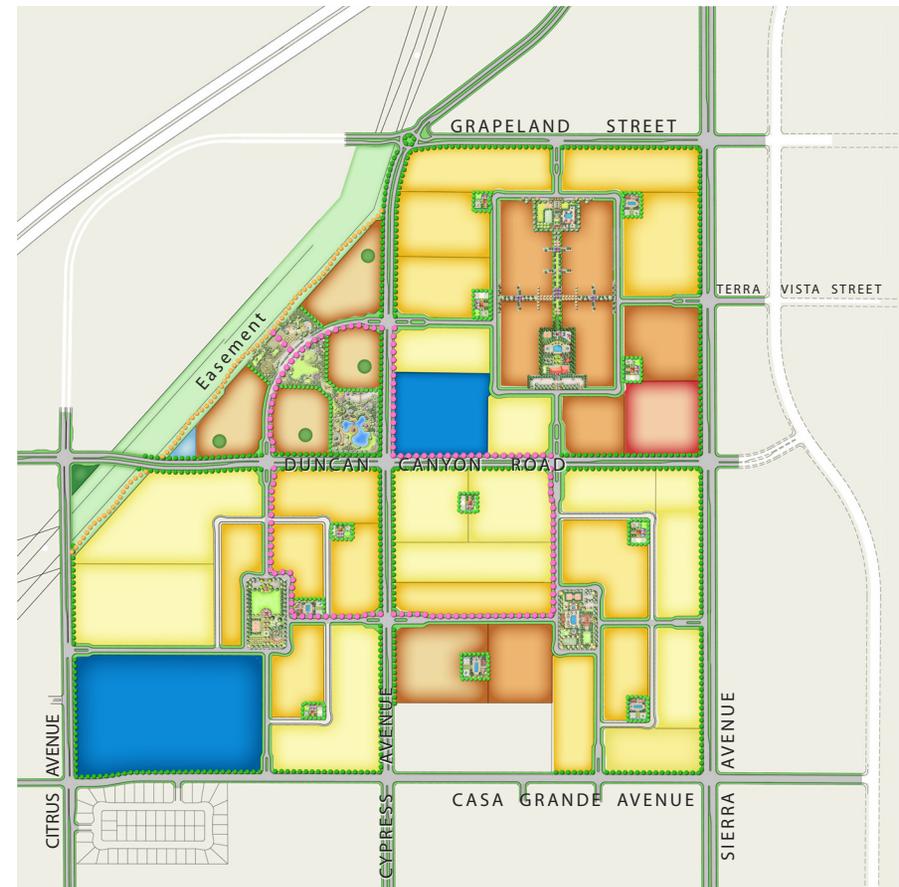
8.3.2 Summary of Residential Development Standards

A summary of residential development standards is presented in Table 8.1 at the conclusion of this chapter. The standards presented in Table 8.1 match the standards and diagrams found throughout the chapter and serve as a consolidated collection of the information for convenient reference.

8.3.3 Development along Perimeter Streets

The Arboretum Specific Plan is bounded by four major streets and a public utility easement. Grapeland Street on the north, Casa Grande Avenue on the south, Sierra Avenue on the east, Citrus Avenue on the west, and the utility easement on the northwestern corner and bisected by Cypress Avenue and Duncan Canyon Road. Together, these form each village's perimeter streets. In order to address development along these edge conditions, specific development standards have been written.

Private driveway cuts along perimeter streets shall be prohibited. Innovative housing types such as detached and attached clustered or green courts are encouraged frontages. In any case, the building forms along these edges shall stagger and provide relief in the massing. Staggering can be achieved through varying front yard setbacks in detached residential product types. R-MF 3.0-8.0 products shall have a minimum 3 foot variation (please see note 5 on opposite page). Visual variation for R-MF 8.1-24.0 products can be achieved through architectural design techniques.



COMMUNITY PLAN

Street Frontage - Massing Envelope (1) (2) (3)

Perimeter Streets: Sierra Ave, Cypress, Ave, Citrus Ave, Casa Grande Ave, Duncan Canyon Rd, and Grapeland St.

Layer 1 - Entry Elements (4)

R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots):	n/a
R-MF 3.0-8.0 (multifamily):	5' (5)
R-MF 8.1-16.0:	5'
R-MF 16.1-24.0:	5'

Layer 2 - Building Elements: 1st and 2nd Story

R-MF 3.0-8.0:	10' (5)
R-MF 8.1-16.0:	10'
R-MF 16.1-24.0:	10'

Layer 3 - Building Elements: 3rd Story

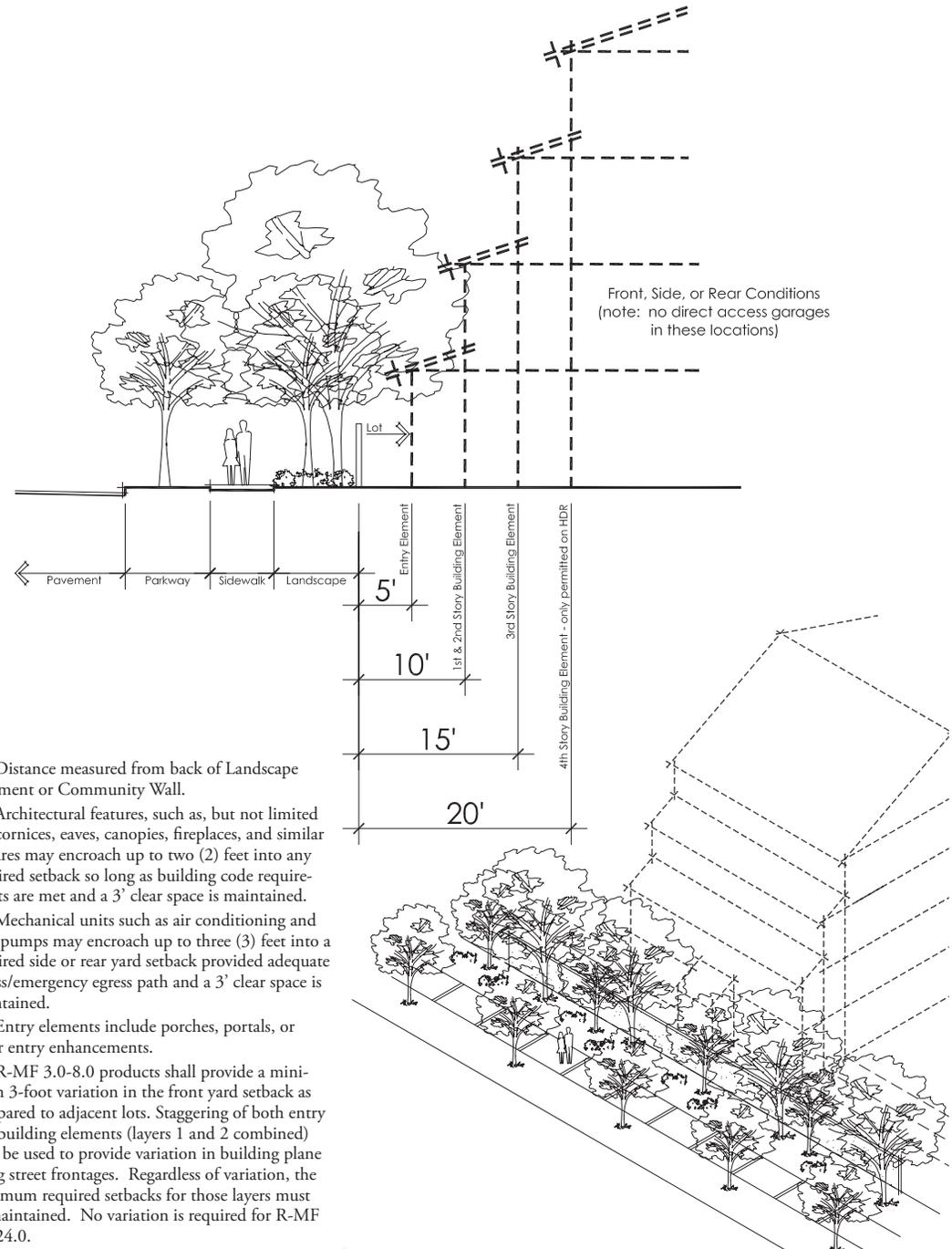
R-MF 3.0-8.0:	15'
R-MF 8.1-16.0:	15'
R-MF 16.1-24.0:	15'

Layer 4 - Building Elements: 4th Story

R-MF 3.0-8.0:	not permitted
R-MF 8.1-16.0:	not permitted
R-MF 16.1-24.0:	20'

Layer 5 - Direct Access Garage

R-MF 3.0-8.0:	not permitted
R-MF 8.1-16.0:	not permitted
R-MF 16.1-24.0:	not permitted



- (1) Distance measured from back of Landscape Easement or Community Wall.
- (2) Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to two (2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.
- (3) Mechanical units such as air conditioning and heat pumps may encroach up to three (3) feet into a required side or rear yard setback provided adequate access/emergency egress path and a 3' clear space is maintained.
- (4) Entry elements include porches, portals, or other entry enhancements.
- (5) R-MF 3.0-8.0 products shall provide a minimum 3-foot variation in the front yard setback as compared to adjacent lots. Staggering of both entry and building elements (layers 1 and 2 combined) shall be used to provide variation in building plane along street frontages. Regardless of variation, the minimum required setbacks for those layers must be maintained. No variation is required for R-MF 8.1-24.0.



8.3.4 Development along Collector Streets

Within the interior of each Village, there are several neighborhoods which consist of different density housing types. Each neighborhood is defined by the planning area. While each of the neighborhoods is unique, the building frontages are integral to the overall village fabric. Such edges include collector streets (including the Arboretum Trail) as well as neighborhood parks and greenways.

In an effort to maintain an active public realm, where feasible, dwellings shall front onto collector streets. Front-loaded driveway cuts on Collector Streets are prohibited. Innovative housing types including, but not limited to, detached and attached clustered or green courts are encouraged frontages. In any case, the building forms along these edges shall stagger and provide relief in the massing. Staggering can be achieved through varying front yard setbacks in detached residential product types. R-MF 3.0-8.0 products shall have a minimum 3 foot variation (please see note 4 on opposite page). Visual variation for R-MF 8.1-24.0 products can be achieved through architectural design techniques.

Street Frontage - Massing Envelope ^{(1) (2)} Collector Streets (including the Arboretum Trail)

Layer 1 - Entry Elements ⁽³⁾

- R-MF 3.0-8.0 (traditional 6,000 sf lots): 12' ⁽⁴⁾
- R-MF 3.0-8.0 (traditional 3,000-5,000 sf lots): 5' ⁽⁴⁾
- R-MF 3.0-8.0 (multifamily): 5' ⁽⁴⁾
- R-MF 8.1-16.0: 5'
- R-MF 16.1-24.0: 5'

Layer 2 - Building Elements: 1st, 2nd, and 3rd Story

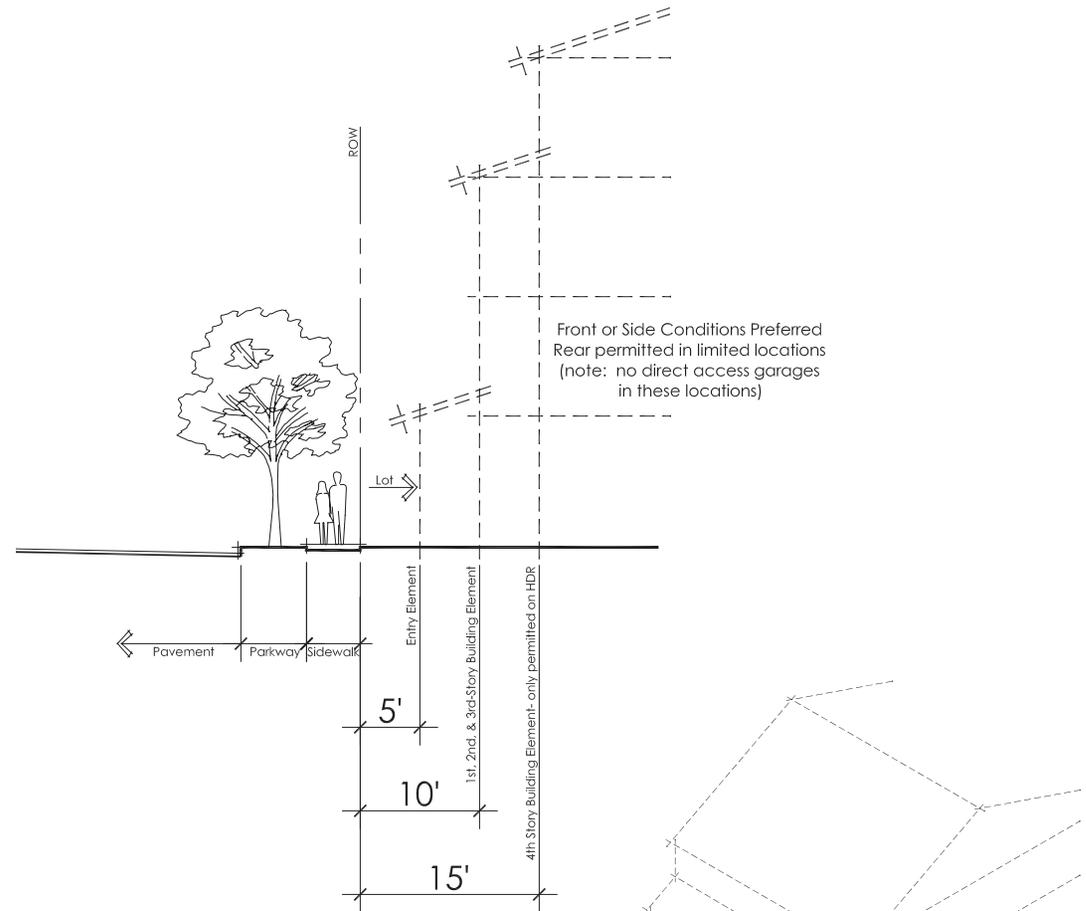
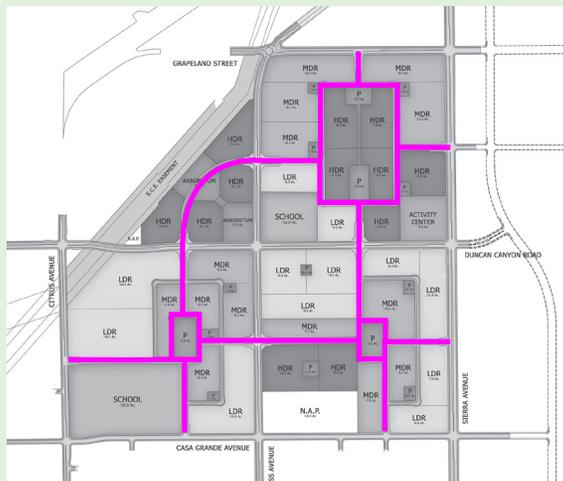
- R-MF 3.0-8.0: 10' ⁽⁴⁾
- R-MF 8.1-16.0: 10'
- R-MF 16.1-24.0: 10'

Layer 3 - Building Elements: 4th Story

- R-MF 3.0-8.0: not permitted
- R-MF 8.1-16.0: not permitted
- R-MF 16.1-24.0: 15'

Layer 4 - Direct Access Garage

- R-MF 3.0-8.0: not permitted
- R-MF 8.1-16.0: not permitted
- R-MF 16.1-24.0: not permitted



- (1) Distance measured from back of walk.
- (2) Architectural features, such as, but not limited to cornices, eaves, canopies, fireplaces, and similar features may encroach up to two (2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.
- (3) Entry elements include porches, portals, or other entry enhancements.
- (4) R-MF 3.0-8.0 products shall provide a minimum 3-foot variation in the front yard setback as compared to adjacent lots. Staggering of both entry and building elements (layers 1 and 2 combined) shall be used to provide variation in building plane along street frontages. Regardless of variation, the minimum required setbacks for those layers must be maintained. No variation is required for R-MF 8.1-24.0.



8.3.5 Development within Planning Areas

Dwellings within each neighborhood are defined by the lot or building in which they exist. While the design of the individual lot or building is important, the edge of the lot or building is equally important. Together, these edges comprise the streetscene. Elements along these edges include private or common front and side yards.

In an effort to maintain positive interface between the lot or building edges, it is important to consider the usability of space along such edges. The spaces can generally be classified into two categories: primary wall or secondary wall. Primary walls generally have principal windows along the wall plane and include entryways and yard access. Secondary walls have none of these elements and can be plotted at minimal separation.

STREET FRONTAGE - MASSING ENVELOPE

The “front” of a dwelling generally occurs along the street frontage. This is where the dwelling meets the public realm. This interface is integral to the neighborhood streetscene and the dwelling shall be designed with proper articulation. Proper street frontage elements include front entries, porches, porticos, patios, and stoops.

Streets within the Specific Plan may be public or private. Public streets must adhere to the City Standard while private streets may be used to minimize the required street section. Additional frontage width may be required in various planning areas to include perimeter fencing.

DRIVES

The purpose of including a private drive/rear lane/ court street in site plan design is to minimize the driveway cuts along the neighborhood street. Since this side of the dwelling is typically considered the rear, minimal building setbacks are required. While elements along this edge generally include garages, yards, balconies, and living space, some court clusters may feature front entries along this edge as well.

SITING- YARD AREA

On dwellings where private side and rear yards exist, the buildings shall be set back to provide ample room for yard area. However, there may be some conditions where no private yards occur. In this condition, dwellings can be plotted per the minimum building separation requirements.

SITING - BUILDING SEPARATION

When determining appropriate building separation, it is important to consider the usability of space along the building edges. The spaces can generally be classified into two categories: paseo edge or building edge without paseo.

Paseo. A landscaped corridor with common path.

Building edge without paseo. A private or common landscaped corridor not intended for pedestrian access.

In a paseo edge condition, the building separation is intended for public access. Therefore, the separation shall be wide enough to provide room for sidewalks and landscaping. In addition, the dwelling shall be designed with elements such as front entries, porches, patios, and stoops. In a building edge without paseo condition, the space is not intended as a public thoroughfare. In this case, the building separation can be minimal and building entries shall be avoided.

Street Frontage - Massing Envelope (1) (2)

Local Streets

Layer 1 - Entry Elements (3)

- R-MF 3.0-8.0 (traditional 6,000 sf lots): 12' (4)
- R-MF 3.0-8.0 (traditional 3,000-5,000 sf lots): 5' (4)
- R-MF 3.0-8.0 (multifamily): 5'
- R-MF 8.1-16.0: 5'
- R-MF 16.1-24.0: 5'

Layer 2 - Building Elements: 1st, 2nd, and 3rd Story

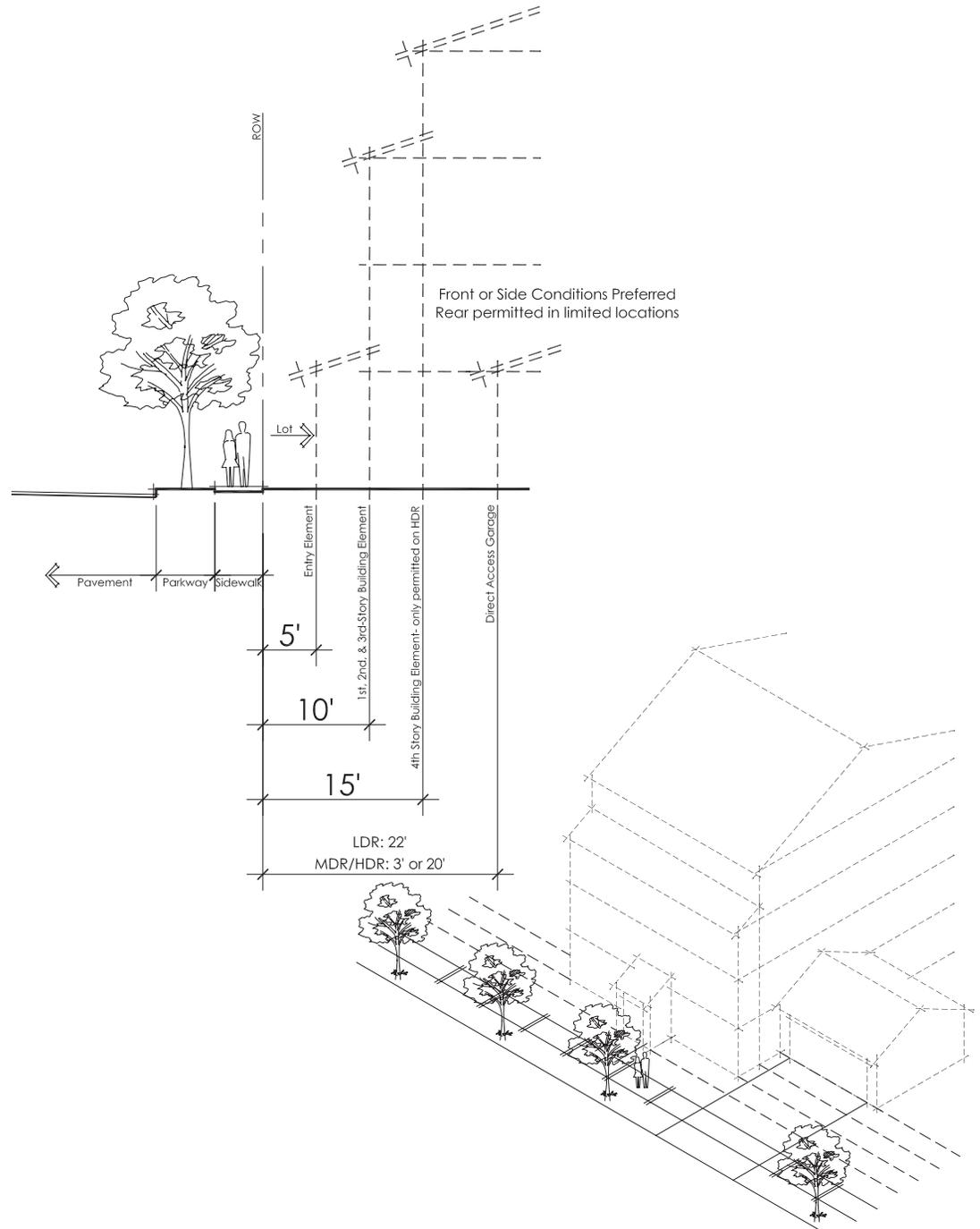
- R-MF 3.0-8.0: 10' (4)
- R-MF 8.1-16.0: 10'
- R-MF 16.1-24.0: 10'

Layer 3 - Building Elements: 4th Story

- R-MF 3.0-8.0: not permitted
- R-MF 8.1-16.0: not permitted
- R-MF 16.1-24.0: 15'

Layer 4 - Direct Access Garage

- R-MF 3.0-8.0: 22'
- R-MF 8.1-16.0: 20'
- R-MF 16.1-24.0: 20'



(1) Distance measured from back of walk.

(2) Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to two (2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.

(3) Entry elements include porches, portals, or other entry enhancements.

(4) Lots 3,000 square feet in size and greater shall provide a minimum 3-foot variation in the front yard setback as compared to adjacent lots. Staggering of both entry and building elements (layers 1 and 2 combined) shall be used to provide variation in building plane along street frontages. Regardless of variation, the minimum required setbacks for those layers must be maintained. No variation is required for R-MF 8.1-24.0.



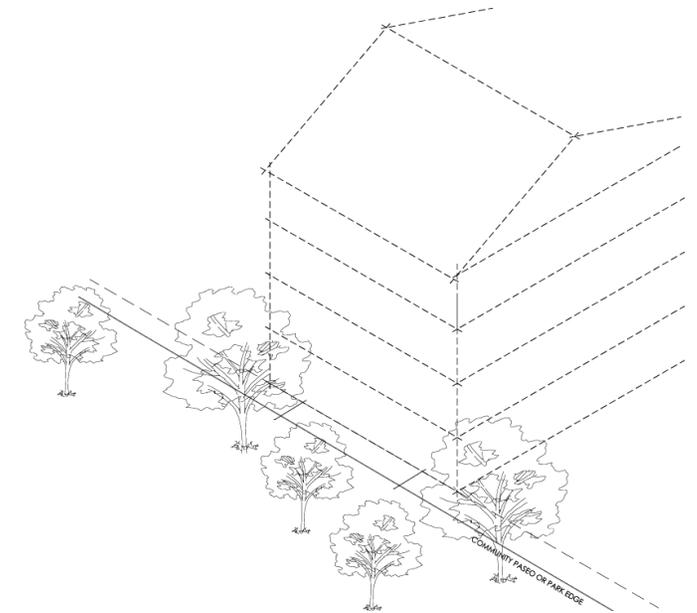
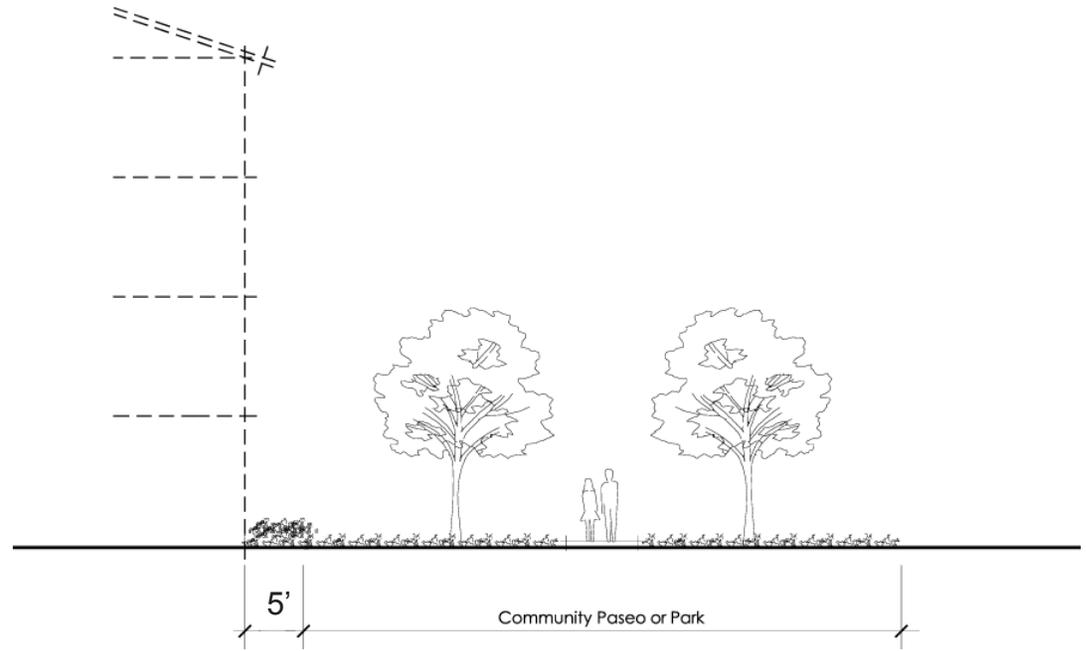
Community Paseo or Park Frontage

- Massing Envelope

Master Plan level Paseo and Parks

Building Elements: 1st, 2nd, 3rd, and 4th Story (1)

- R-MF 3.0-8.0: 5'
- R-MF 8.1-16.0: 5'
- R-MF 16.1-24.0: 5'



(1) A 15-foot setback from any side of a residential building to an active play area and/or equipment area shall be maintained.

Drives - Massing envelope

Private Drive, Rear Lane, or Court Street

Pavement Section (1)

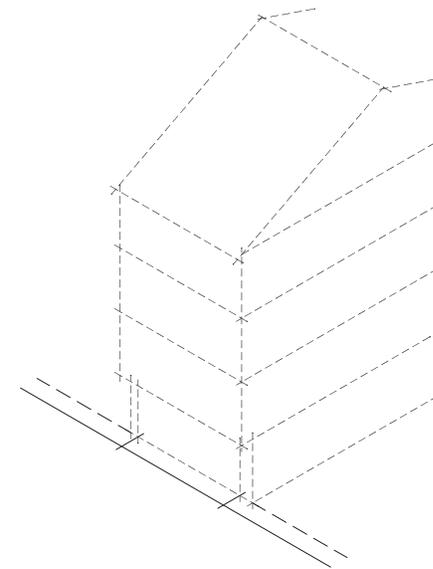
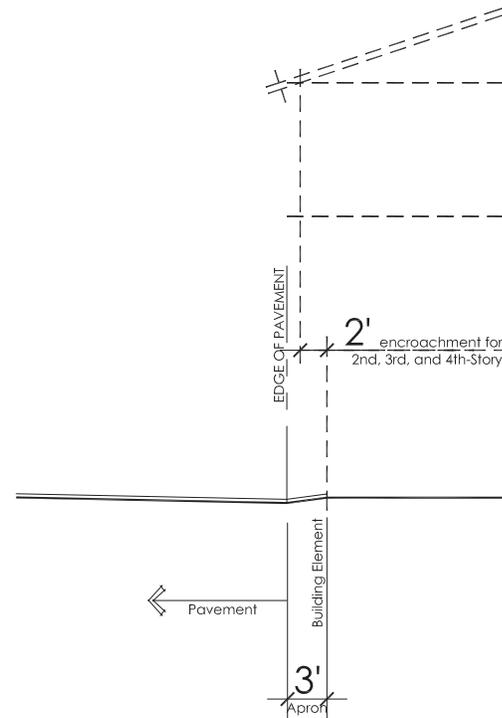
R-MF 3.0-8.0:	26' or 30'
R-MF 8.1-16.0:	26' or 30'
R-MF 16.1-24.0:	26' or 30'

Drive Apron

R-MF 3.0-8.0:	3'
R-MF 8.1-16.0:	3'
R-MF 16.1-24.0:	3'

Building Setback (2)

R-MF 3.0-8.0:	3'
R-MF 8.1-16.0:	3'
R-MF 16.1-24.0:	3'



(1) 26' pavement section for 1 and 2-story buildings, 30' pavement section for 3 and 4-story buildings

(2) Second, third, and fourth story elements may encroach up to 2' into required setback so long as a 3' clear space is maintained.



Siting - Yard Area ^{(1) (2)}

Front - refer to Street Frontage

Interior Side

- R-MF 3.0-8.0 (traditional 6,000 sf lots):
15' aggregate; 5' to property line
- R-MF 3.0-8.0 (traditional 3,000-5,000 sf lots):
5' min; excludes allowable projections
- R-MF 3.0-8.0 (multifamily): 5'
- R-MF 8.1-16.0: 3'
- R-MF 16.1-24.0: yard not required,
refer to bldg separation

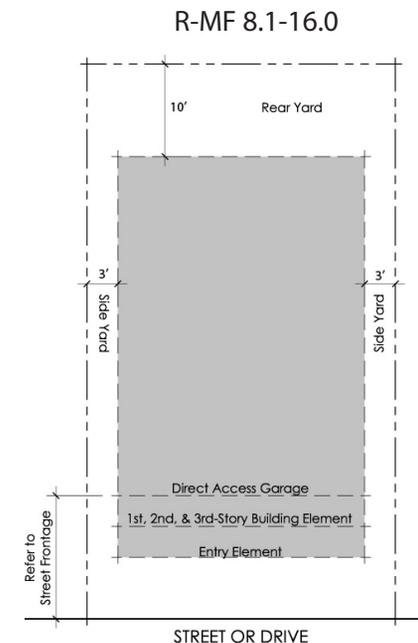
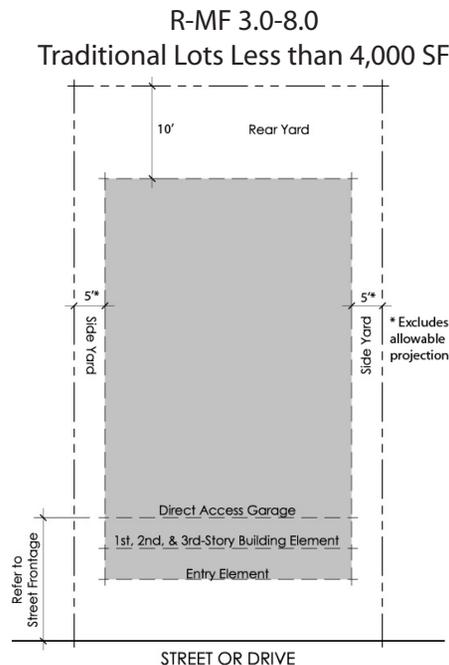
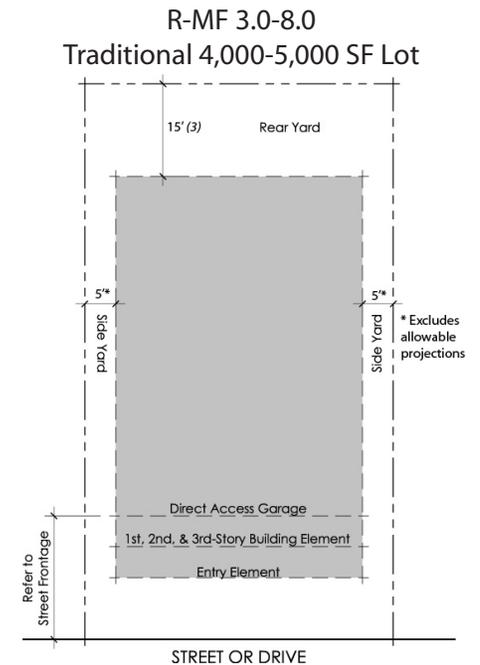
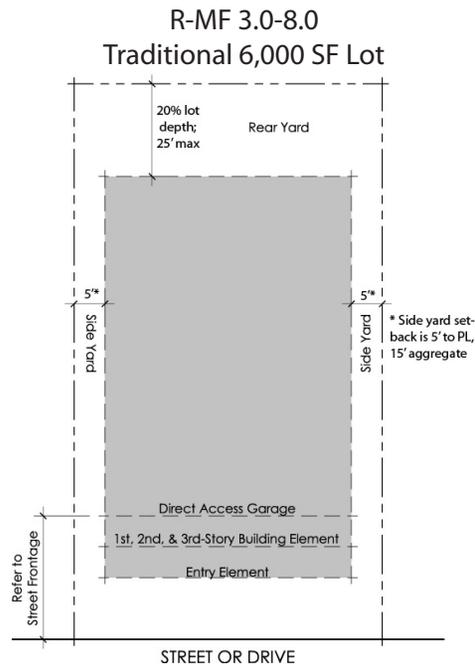
Rear ⁽⁴⁾

- R-MF 3.0-8.0 (traditional 6,000 sf lots):
20% of lot depth; not to exceed 25'
- R-MF 3.0-8.0 (traditional 4,000-5,000 sf lots): 15' ⁽³⁾
- R-MF 3.0-8.0 (traditional lots less than 4,000 sf): 10'
- R-MF 3.0-8.0 (multifamily): 10'
- R-MF 8.1-16.0: 10'
- R-MF 16.1-24.0: yard not required,
refer to bldg separation

(1) Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to two (2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.

(2) Mechanical units such as air conditioning and heat pumps may encroach up to three (3) feet into a required side or rear yard setback provided adequate access/emergency egress path and a 3' clear space is maintained.

(3) If applicable to the product type, rear yards on 4,000 SF lots can be reduced to 10' at the discretion of the Planning Commission.



Siting - Building Separation

PASEO (1) (2) (3) (4)

Paseo is defined as a landscaped corridor with common path. These are typically located within individual neighborhoods.

Porch to Porch

R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots):	n/a
R-MF 3.0-8.0 (multifamily):	15'
R-MF 8.1-16.0:	15'
R-MF 16.1-24.0:	15'

1 or 2 Story to 1 or 2 Story

R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots):	n/a
R-MF 3.0-8.0 (multifamily):	20'
R-MF 8.1-16.0:	20' or 10' (5)
R-MF 16.1-24.0:	20'

2 Story to 3 Story

R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots):	n/a
R-MF 3.0-8.0 (multifamily):	25'
R-MF 8.1-16.0:	25'
R-MF 16.1-24.0:	25'

3 Story to 3 Story

R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots):	n/a
R-MF 3.0-8.0 (multifamily):	30'
R-MF 8.1-16.0:	30'
R-MF 16.1-24.0:	30'

4-Story to 4 Story

R-MF 3.0-8.0:	not permitted
R-MF 8.1-16.0:	not permitted
R-MF 16.1-24.0:	40'

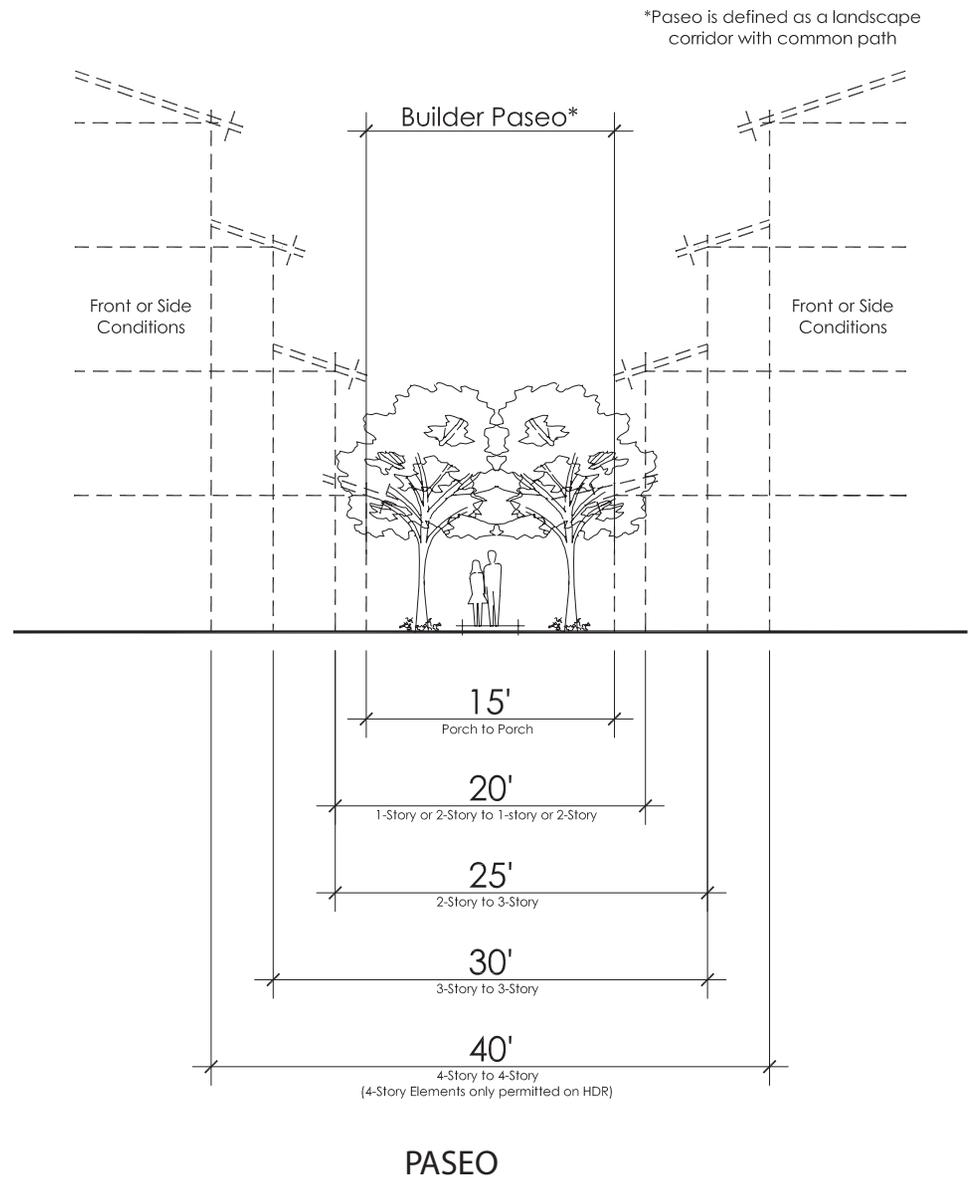
(1) Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to two (2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.

(2) Distance between adjacent buildings measured from wall plane to wall plane.

(3) Residential building to school use shall be 10'.

(4) Residential building to commercial use shall be 10'.

(5) A 10 foot building separation is permitted for R-MF 8.1-16.0 residential cluster product. A 20 foot building separation is required for all other product types.



Siting - Building Separation

BUILDING EDGE WITHOUT PASEO (1) (2) (3) (4) (5)

A building edge without paseo is defined as a private or common landscaped area not intended for pedestrian access (typically found in rear and side yard conditions).

Building Separation for Attached Dwellings

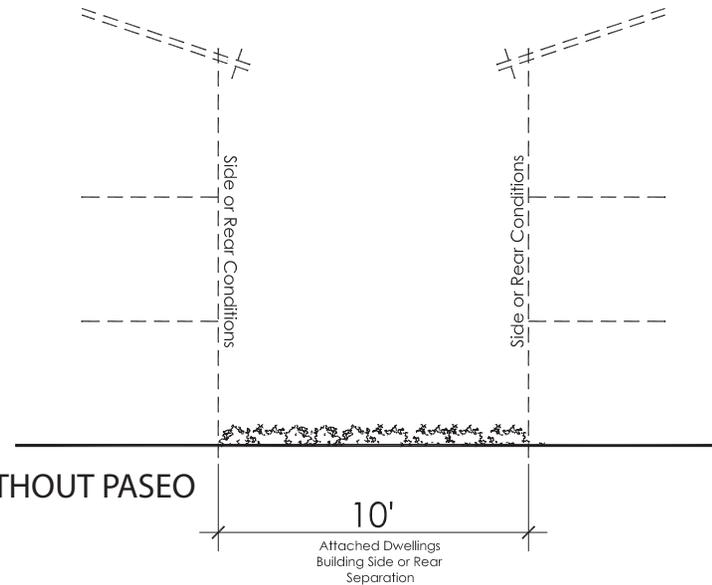
- R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots): n/a
- R-MF 3.0-8.0 (multifamily): 10'
- R-MF 8.1-16.0: 10'
- R-MF 16.1-24.0: 10'

Building Separation for Detached Dwellings

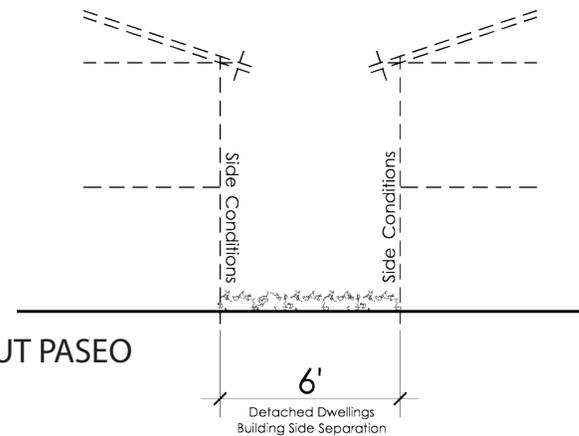
- R-MF 3.0-8.0 (traditional 3,000-6,000 sf lots):
see rear and interior side yard standards
- R-MF 3.0-8.0 (multifamily): 6'
- R-MF 8.1-16.0: 6'
- R-MF 16.1-24.0: 6'

- (1) Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to two (2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.
- (2) Distance between adjacent buildings measured from wall plane to wall plane.
- (3) Mechanical units such as air conditioning and heat pumps may encroach up to three (3) feet into a required side or rear yard setback provided adequate access/emergency egress path and a 3' clear space is maintained.
- (4) Residential building to school use shall be 10'.
- (5) Residential building to commercial use shall be 10'.

**BUILDING EDGE WITHOUT PASEO
Attached Dwellings**



**BUILDING EDGE WITHOUT PASEO
Detached Dwellings**



8.3.6 Parking Standards

Parking management in The Arboretum will entail a combination of providing physical spaces for parking and managing those spaces through CC&Rs so that they are properly allocated to and used by residents and visitors. Parking management can help prevent situations such as permanent residents using guest parking spaces or parking in private drives instead of the enclosed parking spaces allocated to them.

On and off-street parking spaces will be provided throughout the community. Figure 8.1, *Conceptual Parking Locations*, demonstrates how on street, curb adjacent parking spaces can be provided in gated villages with private roads and how parking spaces can be provided between dwelling units where appropriate. A parking management plan identifying the location of on- and off-street parking spaces shall be provided at tentative tract map and/or design review submittal. See Chapter 7 for design guidelines related to parking areas.

TRADITIONAL SINGLE-FAMILY LOTS 3,000 SQUARE FEET OR GREATER

For front-loaded detached single-family lots 3,000 square feet or greater, parking standards shall be as those set forth in the City municipal code: 2-car garage plus 1 garage for every 2 bedrooms over 3 bedrooms. Tandem spaces are permitted only to satisfy the third and fourth space requirement. Three car garages are allowed.

ALL OTHER PRODUCTS

For all other products, including alley-loaded products, resident parking shall be provided as detailed below:

NUMBER OF BEDROOMS	REQUIRED SPACES	RESIDENT PARKING SPACE TYPE
1	1.5	One space shall be within an enclosed garage and remaining spaces may be uncovered.
2	2.0	One space shall be within an enclosed garage and one shall be in a covered space.
3	2.5	One space shall be within an enclosed garage, one space shall be in a covered space, and remaining spaces may be uncovered.
		Guest parking shall be provided at a ratio of one space per three dwelling units, with a minimum of three spaces and may be head-in or parallel spaces.

Tandem parking shall be counted toward satisfying parking requirements. Three car garages are allowed.





CONCEPTUAL PARKING LOCATIONS

FIGURE 8.1



LEGEND

-  Perpendicular Parking Spaces
-  Parallel Parking Spaces

Note: Conceptual street parking depicts parking on private streets and conceptual parking between dwelling units does not apply to visitor parking.

8.4 Activity Center Development Standards

All development standards and guidelines contained within Article VI of the Fontana Zoning and Development Code shall be applicable to the land within The Arboretum Specific Plan designated as Activity Center. Permitted uses in the Activity Center shall be those allowed under the C-1 Zone of the Fontana Zoning and Development Code.

8.5 Parks and Recreation Development Standards

The following standards are applicable to park and recreation areas within The Arboretum Specific Plan. Where this Specific Plan is silent, standards, regulations and permitted uses contained within Article XV of the California Fire Code and Article VIII of the Fontana Zoning and Development Code shall be applicable.

8.5.1 Maximum Building Coverage

All buildings, including accessory buildings and structures, shall not cover more than 50 percent of the planning area.

8.5.2 Maximum Building Height

The maximum building height shall be 45 feet, with the exception of a vertical architectural component at 55 feet maximum.

8.5.3 Minimum Building Separation

There shall be no minimum building separation between primary structures other than that required by the fire department and building and safety regulations.

8.5.4 Minimum Building Setbacks

The minimum building setbacks for traditional single family lots (as measured from property line) shall be as follows:

- Arterials and Internal Roads – 14 feet minimum
- Planning Area Boundary – 12 feet minimum

For all other products no minimum building setback is required.

8.5.5 Parking

It is expected that members of the community will access parks and recreation facilities as pedestrians rather than automobile drivers because of the central locations of these areas within the community.

Parking for the Arboretum Park shall be provided at the City of Fontana parks parking standard. Parking for all other parks and recreational amenities shall be provided at 1 space per 6,000 square feet of the total acreage of the planning area within which the private or public community recreation centers are located and may include on-street (private streets) or off-street (public streets) parking. This includes any associated amenities within the planning area that serve or complement the facilities. See Chapter 7, *Design Guidelines and Landscape*, for parking area landscaping.

8.6 Conceptual Residential Products

Residential product types for The Arboretum may include, but are not limited to, those provided in Section 8.6.1, *Conceptual Detached Product Types*, and Section 8.6.2, *Conceptual Attached Product Types*. See Chapter 7, *Design Guidelines and Landscape*, for product-level landscaping.



TABLE 8.1 RESIDENTIAL DEVELOPMENT STANDARDS

	R - M F 3.0 - 8.0 du/ac	R - M F 8.1 - 16.0 du/ac	R - M F 16.1 - 24.0 du/ac	
PRODUCT				
Product Type	Traditional Single Family (3,000–6,000 sf lots) (15)	Multifamily	Multifamily	Multifamily
Maximum Building Coverage	based on required setbacks	60%	65%	70%
EDGE CONDITION - PERIMETER STREETS (1) (2) (3) Sierra Avenue, Citrus Avenue, Casa Grande, Cypress Avenue, Duncan Canyon Road and Grapeland Street				
Layer 1 - Entry Elements (10)	n/a	5	5	5
Layer 2 - Building Elements: 1st and 2nd Story	10	10	10	10
Layer 3 - Building Elements: 3rd Story	15	15	15	15
Layer 4 - Building: 4th Story	not permitted	not permitted	not permitted	20
Layer 5 - Direct Access Garage	not permitted	not permitted	not permitted	not permitted
FRONTAGE CONDITION - COLLECTOR STREETS (2) (12) Collector Streets including The Arboretum Trail at Collector Streets				
Layer 1 - Entry Elements (10)	6,000 sf lots: 12 3,000–5,000 sf lots: 5	5	5	5
Layer 2 - Building Elements: 1st, 2nd, and 3rd Story	10	10	10	10
Layer 3 - Building: 4th Story	not permitted	not permitted	not permitted	15
Layer 4 - Direct Access Garage	not permitted	not permitted	not permitted	not permitted
FRONTAGE CONDITION - LOCAL STREETS (2) (12) (15) Local Streets				
Layer 1 - Entry Elements (10)	6,000 sf lots: 12 3,000–5,000 sf lots: 5	5	5	5
Layer 2 - Building Elements: 1st, 2nd, and 3rd Story	10	10	10	10
Layer 3 - Building: 4th Story	not permitted	not permitted	not permitted	15
Layer 4 - Direct Access Garage	22	22	20	20
COMMUNITY PASEO or PARK FRONTAGE CONDITION				
Building Elements: 1st, 2nd, 3rd, and 4th Story	5	5	5	5
PRIVATE DRIVE, REAR LANE or COURT STREET 26' pavement section for 1 and 2-story buildings, 30' pavement for 3 and 4-story buildings				
Drive Apron	3	3	3	3
Building Setback to Pavement (7)	3	3	3	3
YARD AREA (2) (3) (15)				
Rear Yard	6,000 sf lots: 20% of lot depth; not to exceed 25 ft 4,000–5,000 sf lots: 15 (5) (16) Less than 4,000 sf lots: 10	10	10	yard not required, refer to bldg separation

TABLE 8.1 RESIDENTIAL DEVELOPMENT STANDARDS (cont.)

Product Type	R - M F 3.0 - 8.0 du/ac		R - M F 8.1 - 16.0 du/ac	R - M F 16.1 - 24.0 du/ac
	Traditional Single Family (3,000-6,000 sf lots) (15)	Multifamily	Multifamily	Multifamily
YARD AREA (cont.) (2) (3) (15)				
Interior Side Yard	6,000 sf lots: 15 ft aggregate; 5 ft to property line 3,000-5,000 sf lots: 5 ft min (excludes allowable projections)	5	3	yard not required, refer to bldg separation
Corner Side Yard	6,000 sf lots: 10 3,000-5,000 sf lots: Same as Street Frontage	same as street frontage	same as street frontage	yard not required, refer to bldg separation
BUILDING SEPARATION at PASEO (2) (6) (11)				
Porch to Porch	n/a	15	15	15
1 or 2-Story to 1 or 2-Story	n/a	20	20 or 10 (13)	20
2-Story to 3-Story	n/a	25	25	25
3-Story to 3-Story	n/a	30	30	30
4-Story to 4-Story	not permitted	not permitted	not permitted	40
BUILDING SEPARATION without PASEO (2) (3) (11)				
Building Separation for Detached Dwellings	see rear and interior side yard	6	6	6
Building Separation for Attached Dwellings	n/a	10	10	10
OTHER SETBACKS/SEPARATIONS				
Residential Adjacent to School Use (17)	10	10	10	10
Residential Adjacent to Commercial Use (17)	10	10	10	10
Residential Building to Active Play Area/Equipment (18)	15	15	15	15
OPEN SPACE				
Private Open Space	not required	not required	150sf (14)	150sf (14)
Common Open Space	not required	not required	25%	25%
HEIGHT (4)				
Maximum Height	35	40	40	50
PARKING (8)				
Resident Spaces	refer to section 8.3.6	refer to section 8.3.6	refer to section 8.3.6	refer to section 8.3.6
Guest Spaces (9)	refer to section 8.3.6	refer to section 8.3.6	refer to section 8.3.6	refer to section 8.3.6
NOTES				

*all dimensions are in feet unless otherwise noted

**all dimensions are minimums unless otherwise noted



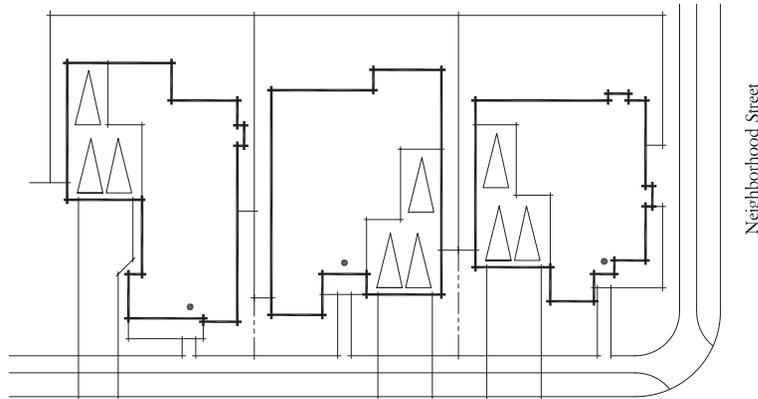
TABLE 8.1 RESIDENTIAL DEVELOPMENT STANDARDS (cont.)

NOTES (cont.)

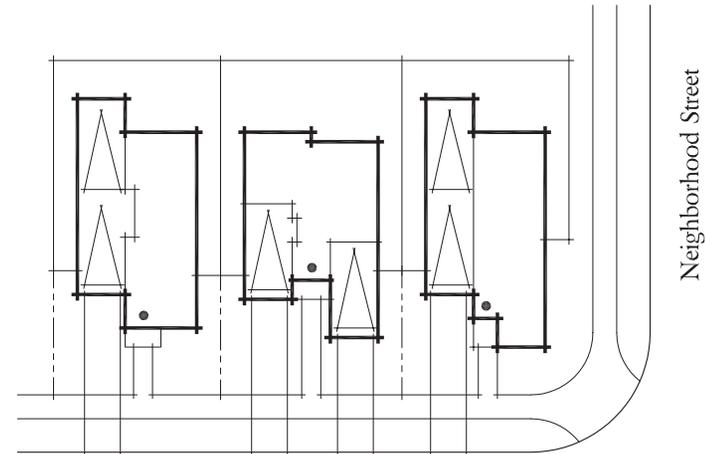
- (1) Distance measured from back of Landscape Easement or Community Wall
- (2) Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to 2 feet into any required setback so long as building code requirements are met and a 3-foot clear space is maintained.
- (3) Mechanical units such as air conditioning and heat pumps may encroach up to 3 feet into a required side or rear yard setback provided adequate access/emergency egress path and a 3-foot clear space is maintained.
- (4) An architectural projection such as a chimney or tower may exceed building height up to 5 feet.
- (5) If applicable to the product type, rear yards on 4000 s.f. lots can be reduced to 10' feet at the discretion of the Planning Commission.
- (6) Paseo is defined as a landscaped corridor with common path.
- (7) Second, third, and fourth story elements may encroach up to 2 feet into required setback so long as a 3-foot clear space is maintained.
- (8) Parking setback from collector streets to residential building shall be 10 feet. This setback shall not apply to parking located on private drive courts or private drives. See "Layer 2" setbacks for Street Frontage - Massing Envelope for Collector Streets.
- (9) Guest parking cannot be placed on private or public streets but located off-street in dedicated guest parking areas.
- (10) Entry elements include porches, portals, or other entry enhancements.
- (11) Distance between adjacent buildings measured from wall plane to wall plane.
- (12) Distance measured from back of walk.
- (13) A 10 foot building separation is permitted for R-MF 8.1-16.0 residential cluster product. A 20-foot building separation is required for all other product types.
- (14) Upper floor units may be reduced to 100 s.f. of private open space.
- (15) For single family residential lots 7,000 square feet in size and greater, refer to Section 30-159 (Division 4, *Development Standards for Primary Structures*) of the City of Fontana's Zoning and Development Code for applicable front, side and rear yard setbacks (front yard setback to living area: 25 feet, interior lot side yard: 20-foot aggregate/5-foot side, corner lot side yard: 15 feet. On local streets, direct access garages shall have a minimum setback of 22 feet, except for side entry garages, which may encroach 6 feet.
- (16) If applicable to the product type, a porch or platform on 4000 s.f. lots which does not extend vertically above the first floor of a building is permitted to encroach up to 5 feet into the rear yard provided it does not reduce the rear yard setback to less than 10 feet in depth. Open work railing may be installed provided such railing is not higher than 36 inches above the porch or platform, or as required by the current edition of the Uniform Building Code. Porch depth shall be a minimum of 5 feet.
- (17) As measured from property line.
- (18) Distance measured from a residential building wall to the closest edge of an active play area (i.e., tot lot equipment). This requirement does not apply to passive park areas.
- (19) All alley-loaded product (rear-loaded product), court cluster product, paseo cluster product, stacked flats or row townhomes, which require a private alley, drive, or court, shall meet the City standard for usable balconies and enhanced natural surveillance over the alley, drive or court areas.

8.6.1 Conceptual Detached Product Types

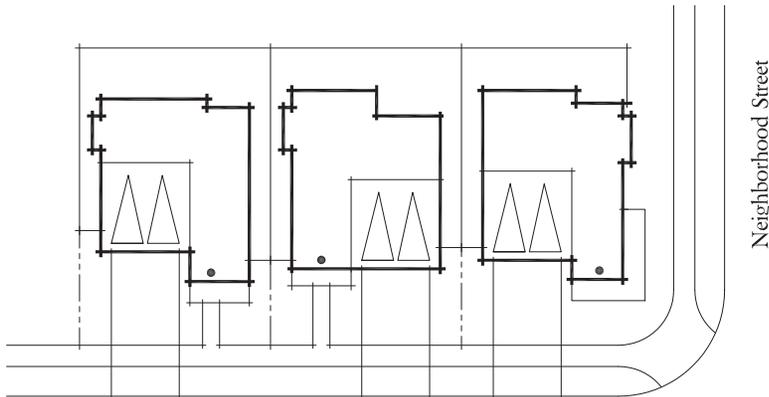
FRONT LOADED CONVENTIONAL LOTS



FRONT LOADED TANDEM AND SPLIT GARAGE LOTS



FRONT LOADED SMALL LOTS

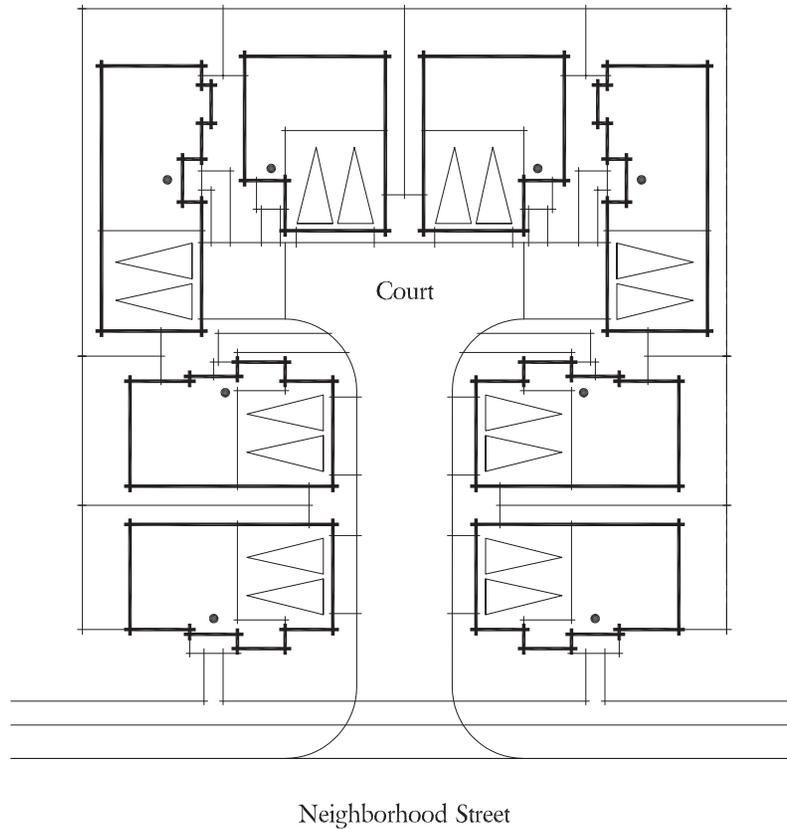


Goals:

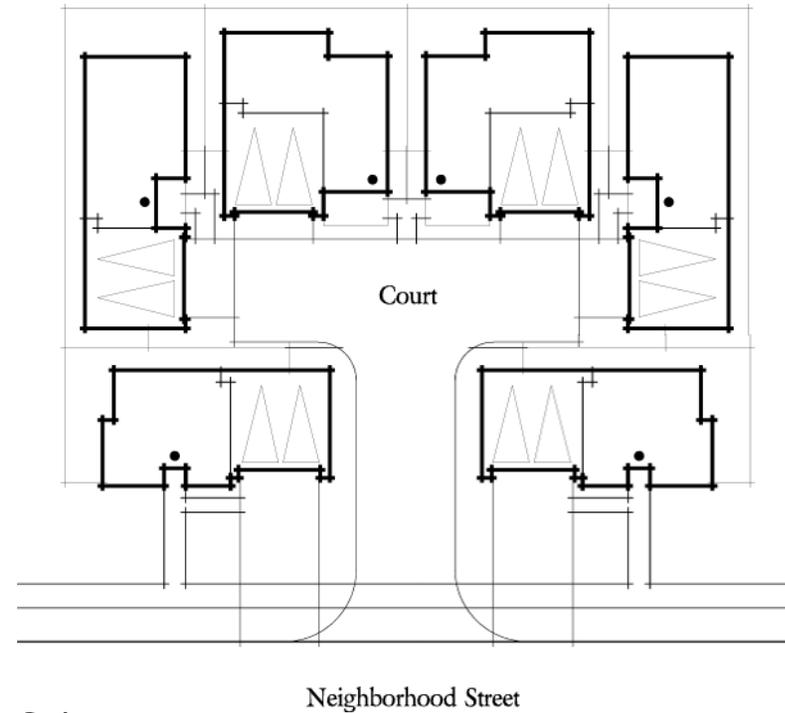
1. Provide eyes-on-the-street through living-forward floor plan design.
2. Promote neighbor interaction with front porches forward of the garage.
3. Provide variety through floor plan design and garage orientations.
4. Create articulation in street scene through front elevation offsets.
5. Limit garage door dominance on street scene by utilizing tandem or split garage options where appropriate.



FRONT LOADED COURT CLUSTER: ALTERNATIVE A



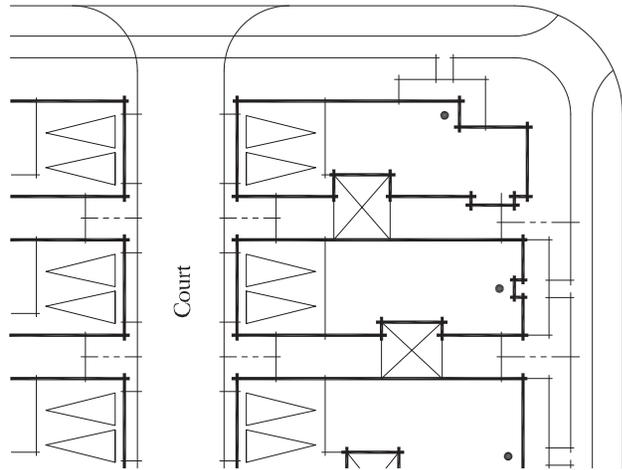
FRONT LOADED COURT CLUSTER: ALTERNATIVE B



Goals:

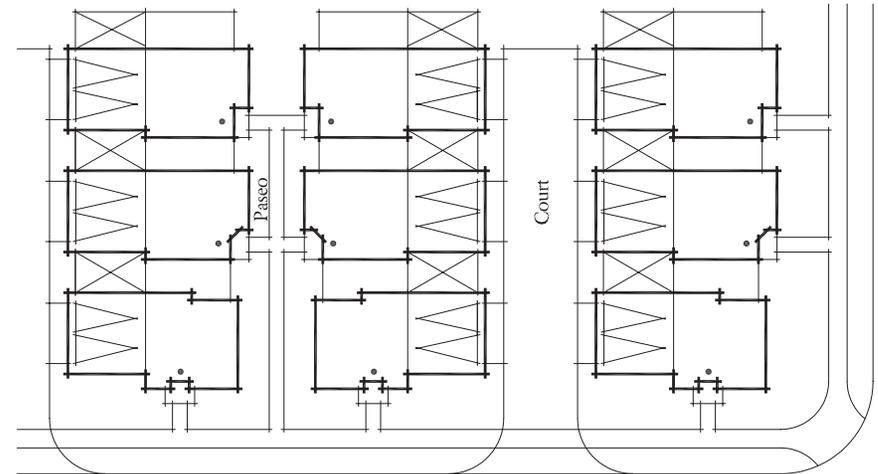
1. Limit garage door dominance on street scene by loading garages off shared court.
2. Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
3. Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.
4. Create articulation in street scene through front elevation offsets.
5. Provide variety through floor plan design and garage orientation.
6. Adhere to City standard for usable balconies and enhanced natural surveillance over alleys, drives or court areas.

REAR LOADED LOTS



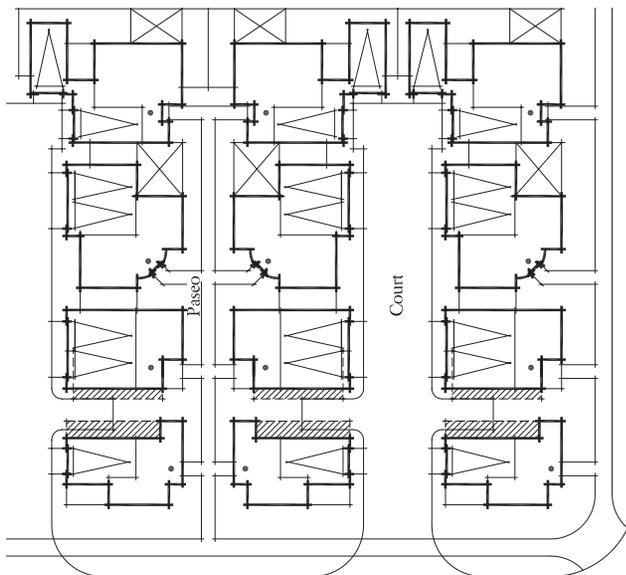
Neighborhood Street

REAR LOADED PASEO CLUSTER: ALTERNATIVE B



Neighborhood Street

REAR LOADED PASEO CLUSTER: ALTERNATIVE A



Neighborhood Street

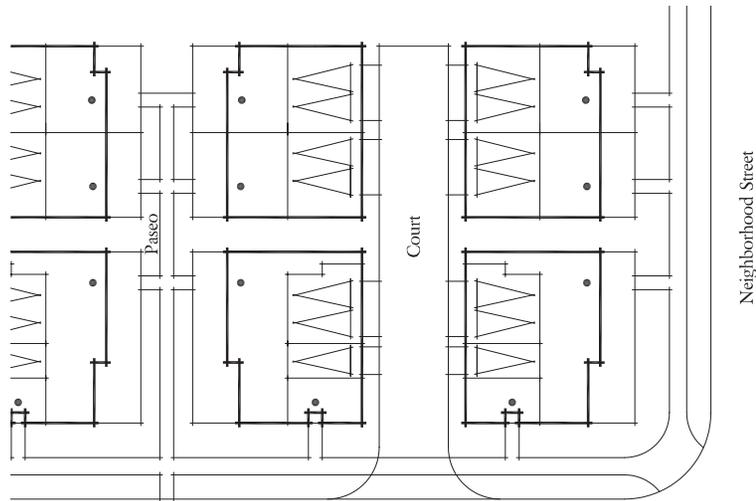
Goals:

1. Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
2. Create articulation in street scene through front elevation offsets.
3. Ease side yards to maximize yard usability.
4. Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plans where appropriate.
5. Limit garage door dominance on street scene by utilizing rear-loaded garages or loading garages off shared court.
6. Provide corner lot elevation enhancements through side-entry on corner lots where appropriate (for rear loaded lots).
7. Promote neighbor interaction by orienting front entries around shared paseos (for paseo cluster products).
8. Adhere to City standard for usable balconies and enhanced natural surveillance over alleys, drives or court areas.

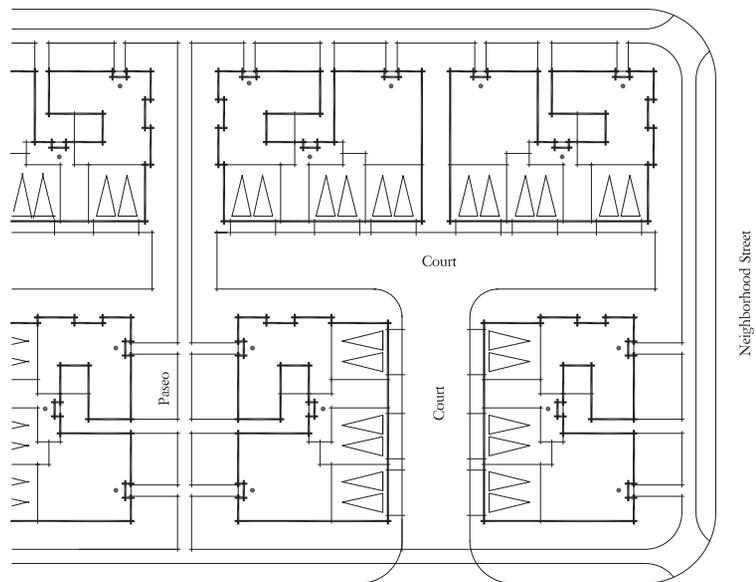


8.6.2 Conceptual Attached Product Types

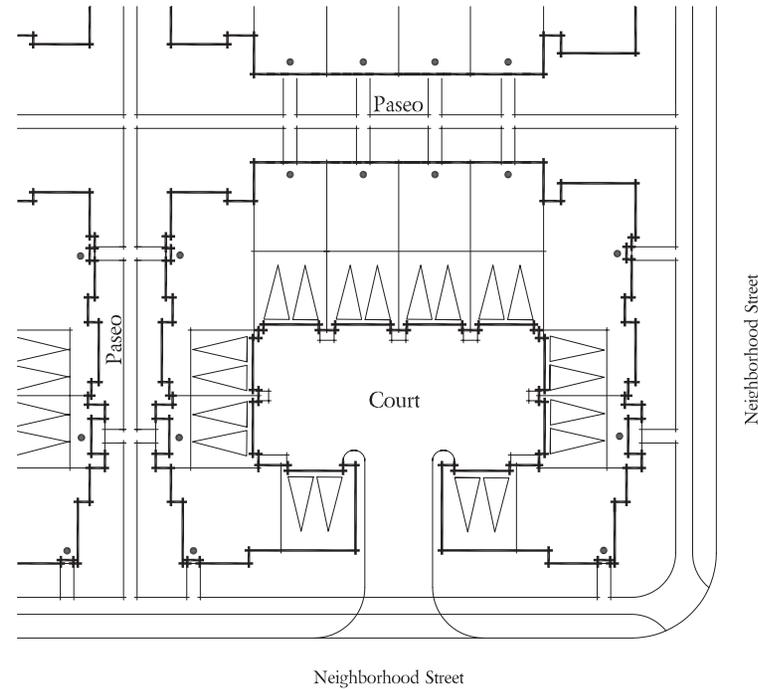
REAR LOADED DUETS



REAR LOADED TRI-PLEX



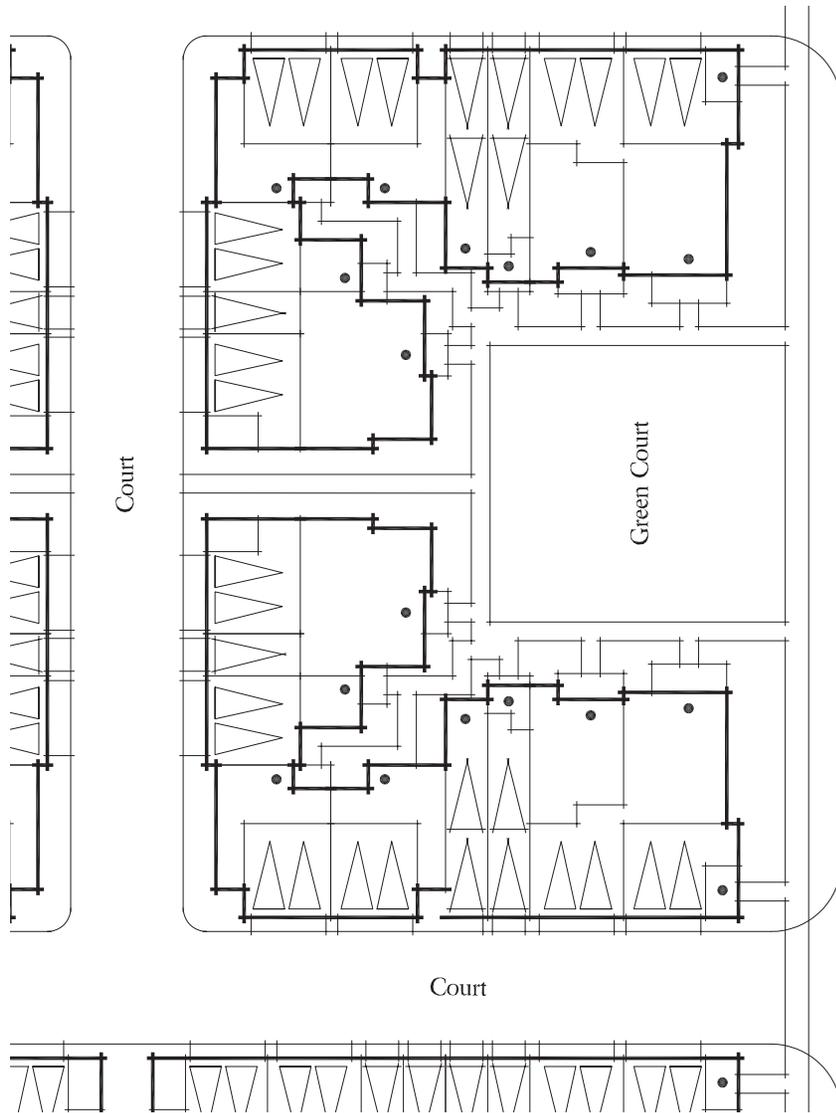
REAR LOADED CLUSTER BUILDING



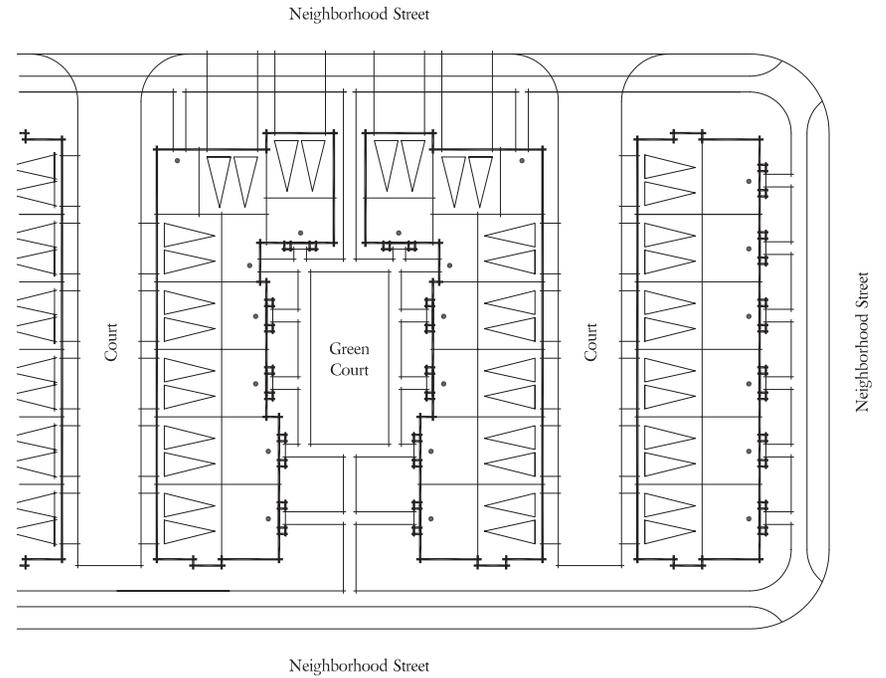
Goals:

1. Promote neighbor interaction by orienting front entries around shared paseo.
2. Provide variety through floor plan design and orientation.
3. Limit garage door dominance on street scene by loading garages off shared court.
4. Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
5. Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
6. Adhere to City standard for usable balconies and enhanced natural surveillance over alleys, drives or court areas.

REAR LOADED GREEN COURT: ALTERNATIVE A



REAR LOADED GREEN COURT: ALTERNATIVE B

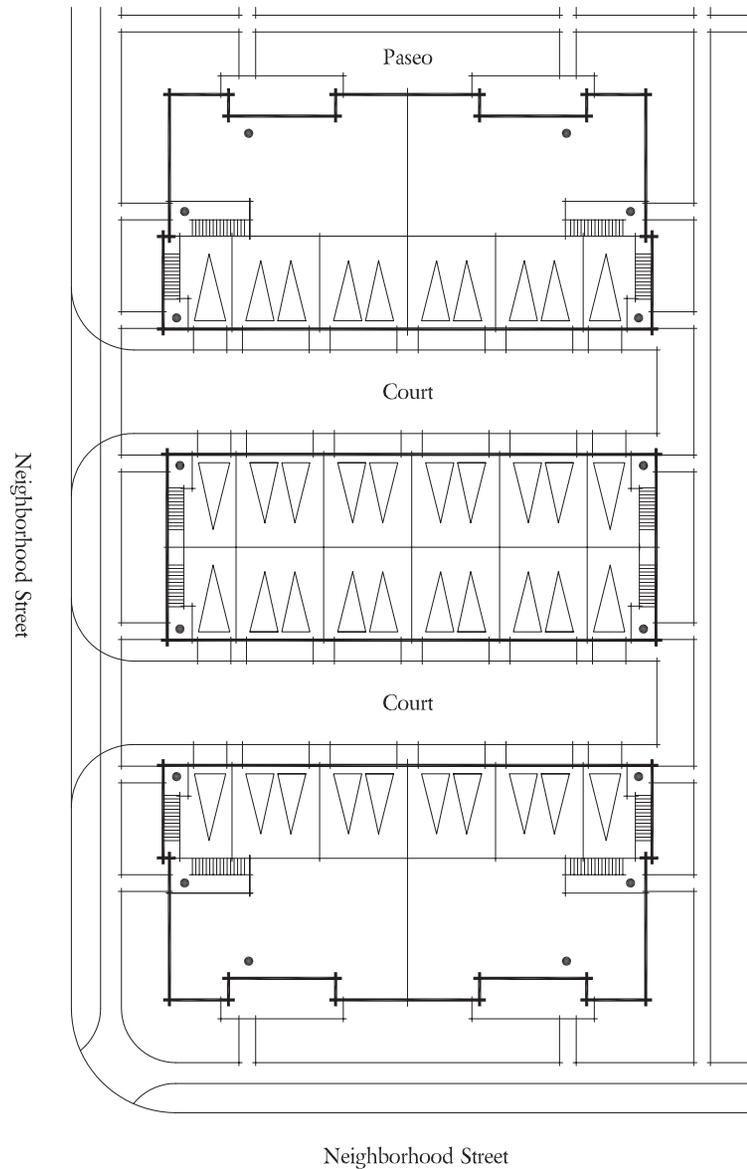


Goals:

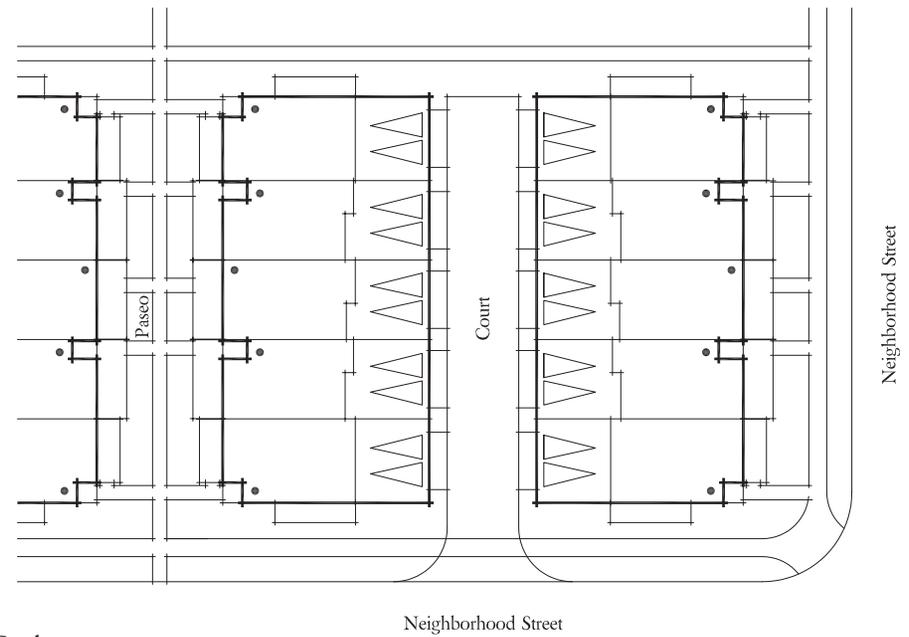
1. Promote neighbor interaction by orienting front entries around shared green court.
2. Limit garage door dominance on street scene by loading garages off shared court.
3. Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
4. Provide variety through floor plan design and orientation where applicable.
5. Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design where appropriate.
6. Adhere to City standard for usable balconies and enhanced natural surveillance over alleys, drives or court areas.



STACKED FLATS WITH CARRIAGE UNITS



REAR LOADED ROW TOWNHOMES



Goals:

1. Limit garage door dominance on street scene by loading garages off shared court.
2. Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
3. Provide eyes-on-the-street for homes fronting neighborhood street through living-forward floor plan design.
4. Use wide front elevations to articulate front elevations.
5. Promote neighbor interaction through entry orientation when possible.
6. Create opportunities for smaller units through carriage units and stacked flat design where appropriate.
7. Adhere to City standard for usable balconies and enhanced natural surveillance over alleys, drives or court areas.