

South Park Specific Plan
Amendments Added

Specific Plan Regulations	Resolution #88-39	February 16 th 1988
Amendment #1	Ordinance 1245	June 2 nd 1998

RESOLUTION NO. 88-39

2/16/88

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA
APPROVING THE SOUTH PARK SPECIFIC PLAN AND CERTIFYING
THE ASSOCIATED ENVIRONMENTAL IMPACT REPORT

WHEREAS, the City Planning Commission has conducted the necessary public hearing and recommended to the City Council that they certify the EIR and approve the attached South Park Specific Plan; and

WHEREAS, the City Council of the City of Fontana has been duly noticed and conducted its own public hearing on the proposed South Park Specific Plan and the associated EIR; and

WHEREAS, the City Council has considered all written submissions and oral testimony with regard thereto, and;

WHEREAS, the City Council is desirous of promoting appropriate new development with high quality standards and served by adequate public facilities.

NOW THEREFORE, BE IT RESOLVED, that the Fontana City Council:

Section 1. Hereby certifies that it has read and considered the attached Environmental Impact Report and that said document has been prepared in accordance with the California Environmental Quality Act.

Section 2. Hereby authorizes and directs the Planning Department staff to file a Notice of Determination with the County Clerk of the County of San Bernardino.

Section 3. Hereby adopts the Statement of Overriding Considerations as attached.

Section 4. Hereby adopts the Specific Plan Findings as attached.

Section 5. Hereby adopts the South Park Specific Plan subject to all the conditions as included in the attached ordinance.

APPROVED AND ADOPTED this 16 day of February 1988.

Nathan A. Simon
Mayor of the City of Fontana

ATTEST:
Patricia M. Murray
City Clerk of the City of Fontana

I, Patricia M. Murray, City Clerk of the City of Fontana and Exofficio Clerk of the City Council, do hereby certify that the foregoing resolution was duly and regularly adopted by the City Council of the City of Fontana at a regular meeting thereof, held on the 16th day of February 1988.

AYES: Mayor Simon, Councilmen Day, Koehler, Kragness

ORDINANCE NO. 1245

6/2/98

#1

AN ORDINANCE OF THE CITY OF FONTANA
APPROVING SPECIFIC PLAN AMENDMENT #97-
03 (SOUTH PARK SPECIFIC PLAN AMENDMENT
NO. 1) WHICH UPDATES STREET SECTIONS,
LANDSCAPING, WALLS, PARK AND OPEN
SPACE, AND THE EQUESTRIAN TRAIL

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on March 23, 1998, recommended that the City Council approve Specific Plan Amendment #97-03 (South Park Specific Plan Amendment No. 1); and

WHEREAS, On May 19, 1998, the City Council held a noticed public hearing concerning Specific Plan Amendment #97-03; and

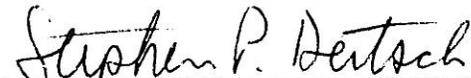
NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. The South Park Specific Plan is hereby amended to change the street sections, landscaping, walls, park and open space, and the equestrian trails.

Section 2. This ordinance shall take effect thirty (30) days after the date of its adoption and prior to the expiration of fifteen (15) days from passage thereof shall be published by the City Clerk at least once in the Fontana Herald News, a newspaper of general circulation, and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 2nd day of June, 1998.

READ AND APPROVED AS TO LEGAL FORM:



City Attorney

**SOUTH PARK
SPECIFIC PLAN**

Prepared for:

The City of Fontana
Planning Division
8353 Sierra Avenue
Fontana, California 92335

Adopted: March 1, 1988

Administratively Amended November 15, 1988

Specific Plan Amendment No. 1 Adopted: July 2, 1998

Amendment No. 1 to the South Park Specific Plan

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**SOUTH PARK SPECIFIC PLAN
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1.0 Introduction

I. INTRODUCTION

A. Background

In 1981, through the update of the City's General Plan, the City established a program whereby large areas of undeveloped or vacant land could be developed in an orderly and efficient manner. This program is the Specific Plan process as provided for in State Law. The South Park Specific Plan area encompasses approximately 117 acres and is located in the southeast corner of the City of Fontana, at the southern limits of the City.

The Specific Plan process provides an excellent opportunity to insure that growth in the South Park Specific Plan area will occur in an orderly, efficient manner.

B. Purpose

This Specific Plan is designed as a planning tool to develop the necessary detailed planning, support service facilities and implementation programs to provide for orderly development. The Specific Plan, when adopted by City legislative action, serves both a planning and regulatory function. The purpose of Specific Plan Amendment No. 1 is to update the South Park Specific Plan regarding street sections, landscaping, walls, park & open space and the equestrian trail.

C. Reasons for the Specific Plan

The State of California provides for three basic planning tools. The first is the General Plan which sets forth goals, objectives, and policies for future development of the city. The second and third are zoning regulations and Specific Plans respectively. Both these tools serve to implement the goals, objectives, and policies in the General Plan. Specific Plans have the capability of responding to and solving development problems in a defined "sub-area" of the city.

The key advantage to utilizing the Specific Plan process is the integration of broader plan objectives with specific development regulations, while responding to development and environmental issues in a given land use area.

The Specific Plan process will result in a comprehensive and cohesive development plan and regulations for the South Park area. The plan will provide adequate levels of service and infrastructure as the area develops, and a circulation system linking the various land use components of the plan.

In this way the optimal use of the land can be realized while creating a pleasant living environment.

D. Authority

A Specific Plan may be adopted by the City Council of the City of Fontana as authorized by the California Government Code, Section 65453, provided as follows:

“(2) A specific plan shall be prepared, adopted, and amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.”

This California Government Code provides that a Specific Plan may include the following:

Land Use

The location of: housing, business, industry, open space/recreation facilities, educational facilities, churches and related religious facilities, public building and grounds, solid and liquid waste disposal facilities; together with regulations establishing height, bulk and setback lines. The plan may also include location of flood plains.

Circulation

The plan may include the location of streets, road standards, maintenance provisions, and other transportation needs. This plan may include standards for both private and public facilities.

Density

Standards for population density and building density may be included. These standards may include lot size, permissible types of construction, provisions for water supply, sewage disposal, storm water drainage, and the disposal of solid waste.

Design

The City, through the Specific Plan process, may provide basic design criteria for the study area.

E. State of California CEQA Requirements

Any environmental impacts created as a result of proposed project design have been addressed by the EIR for South Park. The integrated EIR addresses, the South Park Land Use Master Plan, circulation and infrastructure plans, implementation measures, design

guidelines and features of the plan. This EIR may also be applicable to future development projects, such as subdivision maps and site plans which are processed in conformance with this Specific Plan.

F. Application

The South Park Specific Plan applies only to those properties within the City of Fontana known as South Park. The land area contained within the S.C.E. property which divides the site is not included in the 118 acre study area. A legal description of this property is included in the Appendix of this text.

G. Project Description

The South Park Specific Plan project is an internally oriented residential community. The land uses include: residential, open space and recreation, within the project site of 117 acres.

The residential component of the plan provides a variety of densities including R-1-5000, R-1-7200, and R-1-10,000. Housing product types include traditional single-family detached units on lots ranging from 5,000 S.F. to 10,000 S.F. and greater, totaling 366 single-family homes.

The average lot size within the project is 7,228 square feet and the minimum unit square footage is 1,500 square feet.

The recreation portion of the plan consists of 1.3 acres devoted to a neighborhood park, and 31.7 acres devoted to open space and equestrian trail. The central location of the neighborhood park and the design of the internal circulation system provides easy access to the park. The park is intended for those residing in the plan area, while the 2.04 acre equestrian trail provides access for the regional trail network.

Properly integrated, the proposed land uses in the South Park Specific Plan area, along with the design of the landscape master plan and supporting infrastructure systems will result in a balanced community.

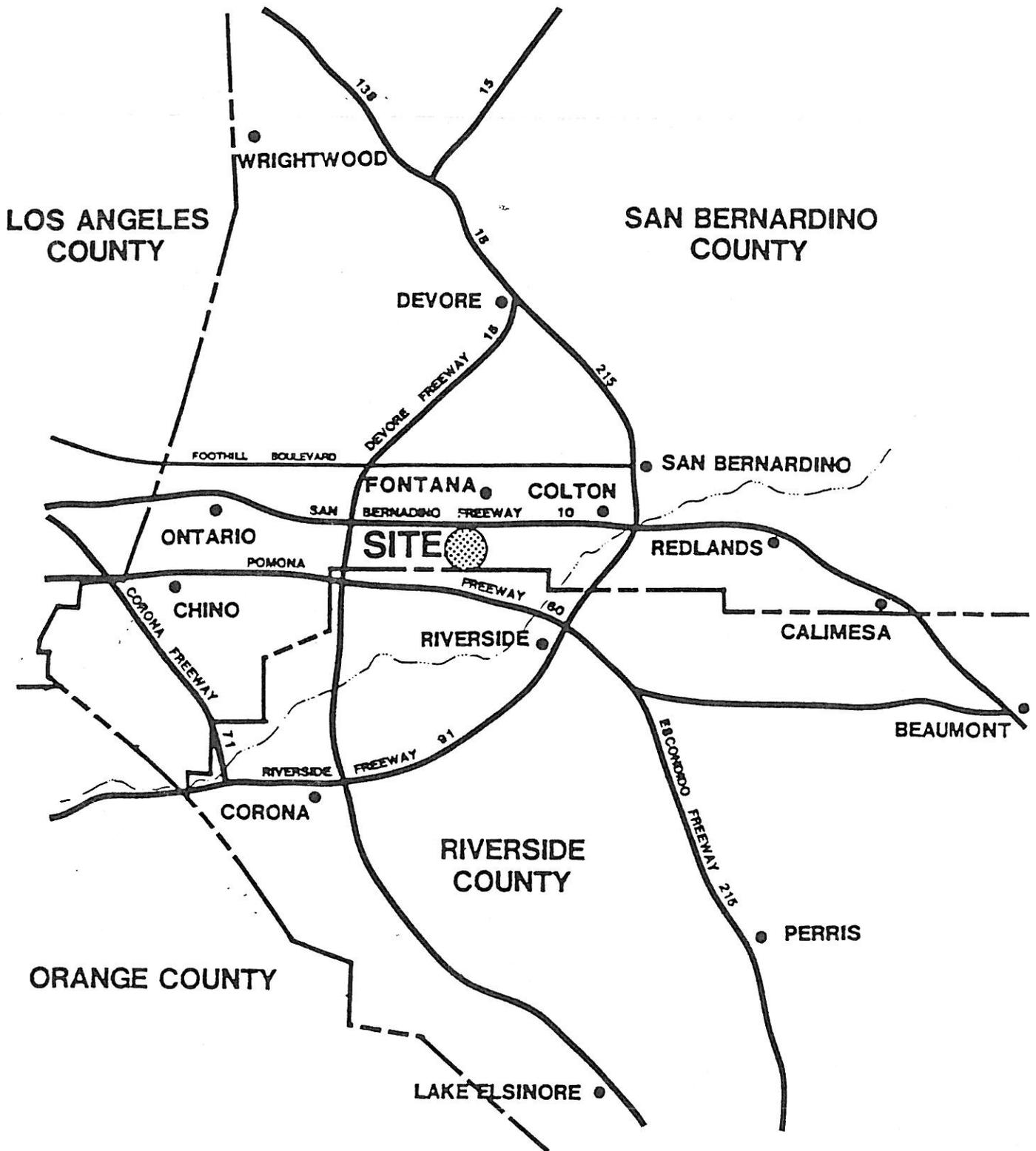
H. Location

The proposed project is located in southern San Bernardino County, as shown in Figure 1 Project Location, which follows. More specifically, it is located at the southern edge of the City of Fontana, as indicated on the Vicinity Map, Figure 2. The property is located east of Sierra Avenue, south of Jurupa Avenue and is approximately one mile south of Interstate 10. Sierra Avenue has direct freeway access (on/off ramps) to Interstate 10. The Riverside-San Bernardino County line is approximately one-half mile to the south of the site. The Pomona Freeway is less than three (3) miles to the south via Sierra Avenue and Armstrong

Road.

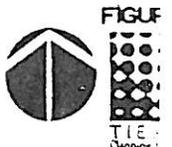
J. General Plan

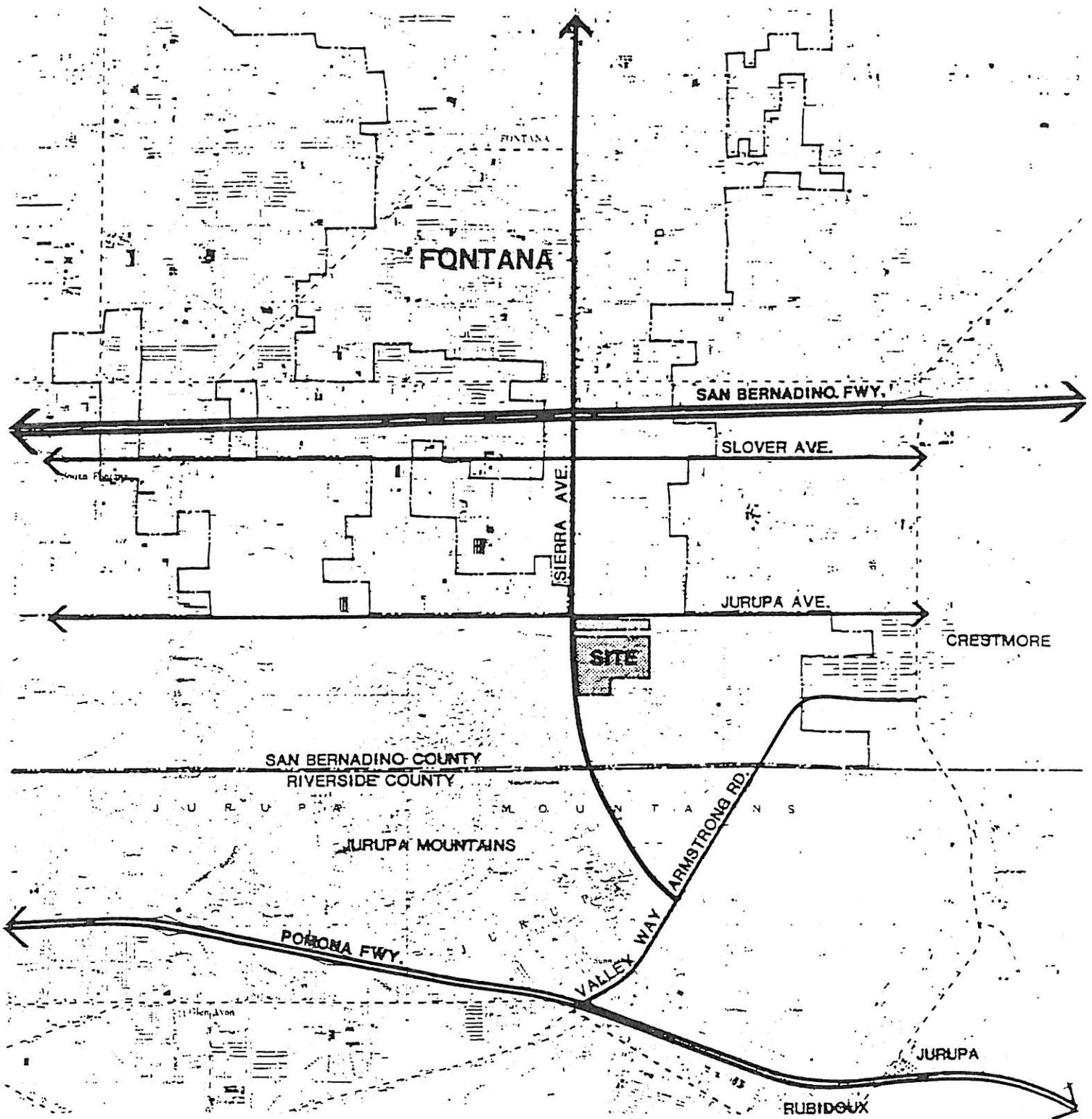
The General Plan currently designates the following land uses for the study area: R-PC (Residential Planned Community) and Open Space.



**PROJECT LOCATION
SOUTH PARK**

CITY OF FONTANA

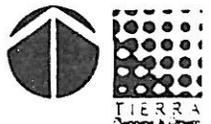




VICINITY MAP
SOUTH PARK

CITY OF FONTANA

FIGURE 2



2.0 Planning Framework

II. PLANNING FRAMEWORK

A. Methodology

The methodology for the South Park Specific Plan consists of three general phases, each phase building upon the conclusions of the previous phase. During each phase, City staff worked in coordination with the consultants to insure that tangible work products would be completed. Workshops were conducted to insure involvement of the Planning Commission.

The South Park Specific Plan process began with a clear and factual assessment of the area concerning local issues, problems and opportunities, the physical and environmental characteristics, economic development and market potentials, and basic engineering facility design. This assessment, with City staff participation, provided a firm basis for land use planning which is sensitive to major project issues as well as the identified goals and objectives of the General Plan.

The second basic phase of work involved the development of alternative land use concepts for the study area. These alternatives explored various ways that General Plan policies and development objectives of the property owner and the City could be translated into more detailed land uses and development concepts.

The final phase of work involved refinement of the preferred alternative concept through more detailed planning of land uses, community structure elements and design guidelines. The refined plan contains a "pay as you go" implementation program for the basic services necessary to support anticipated development. The purpose of this refined plan is to ensure that the final plan is realistic, that it can be built and operated within the ability of responsible public agencies to serve it, and that it truly furthers the goals and policies of the community as they are expressed in the General Plan.

B. Issues, Opportunities and Constraints

Prior to developing the details of this Specific Plan, a number of meetings were held between the applicant, City staff and consulting team. From these meetings a number of issues, development opportunities and constraints were identified.

1. Environmental Issues

Environmental issues identified included the following:

- a. land use compatibility
- b. visual quality
- c. trails/parks

- d. maintenance of open space
- e. circulation
- f. fire access
- g. regional infrastructure
- h. noise impacts

2. Opportunities and Constraints

Opportunities and Constraints for the study area included the following:

a. opportunities

- 1) views (on-site and off-site)
- 2) rural character
- 3) "gateway" image
- 4) a range of housing products
- 5) adjacent park and trail system

b. Constraints

- 1) no existing infrastructure
- 2) S.C.E. property
- 3) hydrology
- 4) access/circulation
- 5) bedrock formation

C. Goals and Objectives

A list of goals and objectives to be achieved by alternative land use plans for South Park included the following:

- 1. Project compatibility with surrounding open space, regional park uses and the Empire Center Specific Plan and Southridge Village Specific Plan.
- 2. Visual quality of the project, as viewed from the surrounding area
- 3. Trail linkages to the regional park and trail network
- 4. Provision for adequate community facilities
- 5. Provision for adequate recreation opportunities
- 6. Provision for marketable housing product(s)

7. Provision for viable open space ownership/maintenance

D. Refined Site Plan

During late 1985 and early 1986, a series of land use alternatives were processed and reviewed by the Fontana planning staff and Planning Commission. This review resulted in concurrence on a "Refined" Site plan, which designated a maximum total of 390 residential dwelling units for the site, and serves as the basis for preparation of this Specific Plan document.

E. Amendments

In 1996, the property was purchased by Fiesta Development, Inc. of Fontana for development. During the due diligence period, it was determined that there were conflicts between three adopted specific plans. These specific plans included:

1. Southridge Village Specific Plan,
2. South Park Specific Plan, and
3. Empire Center Specific Plan

These conflicts consisted of different requirements for street sections, landscape and walls, park & open space, and the equestrian trail. Therefore, changes regarding these items have been integrated into this Amendment No. 1 document, adopted by Ordinance No. 1245 on May 19, 1998.

3.0 The Specific Plan

III. THE SPECIFIC PLAN

A. Introduction

The South Park Specific Plan proposes an integrated residential community including single-family residential, park and open space uses.

The major components of the plan are as follows:

- Land Use Master Plan
- Circulation Master Plan
- Open Space and Recreation Concept Plan
- Infrastructure/Utilities Concept Plan
- Grading Concept Plan
- Community Facilities/Services Plan
- Phasing Concept Plan

The land use and circulation master plans establish specific standards and requirements to which individual development projects within the Specific Plan area must conform.

The concept plans describe programs for infrastructure development, landscaping guidelines, and certain development procedures that should be utilized for implementation of the Specific Plan. Concept plans are not mandatory plans and revisions to these plans may be done with approval of the Community Development Director. Concept plan revisions do not require revisions to this Specific Plan.

B. Plan Concept and Design Objectives

The planned community proposes mixed single-family detached development in the urbanizing area of south Fontana. The project would create two "neighborhoods", a smaller northern "neighborhood" between Jurupa and the S.C.E. Property, and a larger southern "neighborhood" south of the Edison property. The project will provide new housing to meet projected local and focused regional needs. Three generalized lot types and housing product within the two "neighborhoods" will provide a range of homes. A maximum total of 366 dwelling units are approved for South Park.

One park is proposed; a neighborhood park of 1.3 acres will be centrally located within the development area a 2.04 acre equestrian trail will be developed to connect to the existing regional equestrian trail.

The primary objective of the South Park Specific Plan is to implement the City's General Plan. The goals and objectives of the plan are designed to provide housing densities and scale of land use that are harmonious with the natural environment, while creating adequate and desirable standards. These design objectives are realistic as follows:

1. To provide a development which offers residents a wide variety of housing types with a centrally located park for ease of access from all areas of the plan.
2. To provide the necessary infrastructure and services for residential uses, in a timely manner.
3. To create an aesthetically cohesive community by providing continuity in landscape treatments.
4. To create a neighborhood identity recognizable as the South Park area.

C. Environmental Setting

The EIR for South Park presents a complete analysis of existing conditions, impacts and mitigation related to proposed development of the site. The brief discussion which follows summarizes several key aspects of the existing setting which led to the South Park Land Use Master Plan.

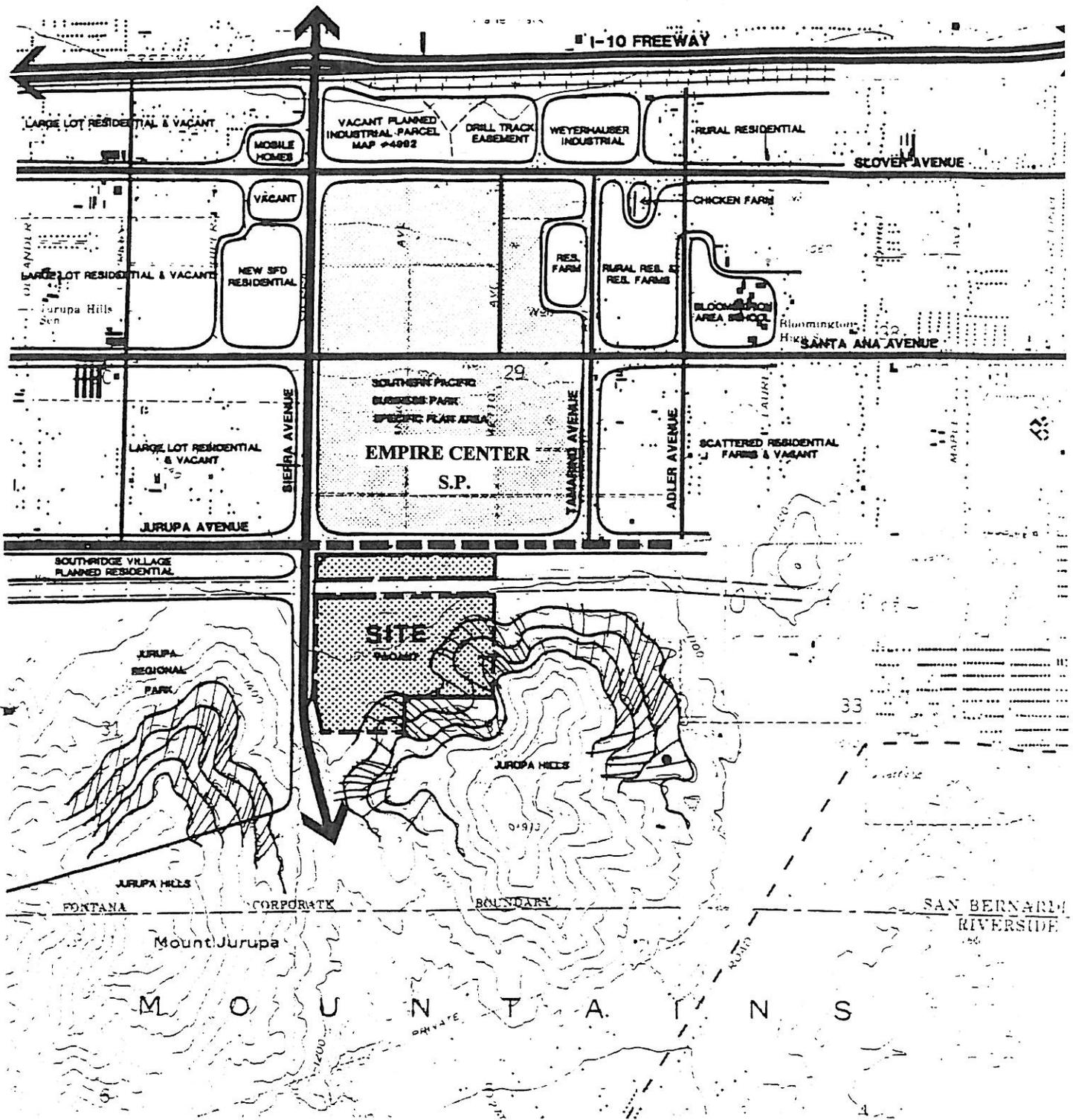
1. Existing Land Use

Existing site land use includes abandoned vineyards and undeveloped open space. The property is divided by high tension transmission lines and their major support structures which extend east/west across the northern portion of the site. This Southern California Edison property is owned in fee and consists of approximately 18 acres. To the east, a prominent hillside area tapers off toward Crestmore. Southridge Village Specific Plan and the Jurupa Hills Regional Park are located to the west. South of the site, vacant hills extend toward Riverside County. Refer to Figure 3, Existing Conditions, which follows.

2. Slope Analysis

The slope analysis for South Park is illustrated in Figure 4. It identifies four primary slope categories, 0-10%, 10-20%, 20-30%, and 30% and greater. The category of most level terrain, 0-10%, dominates the site. Acreages contained in each slope category are as follows:

- a. 0-10% slope = 64 acres (54% of the site)
- b. 10-20% slope = 11 acres (9% of the site)
- c. 20-30% slope = 12 acres (10% of the site)

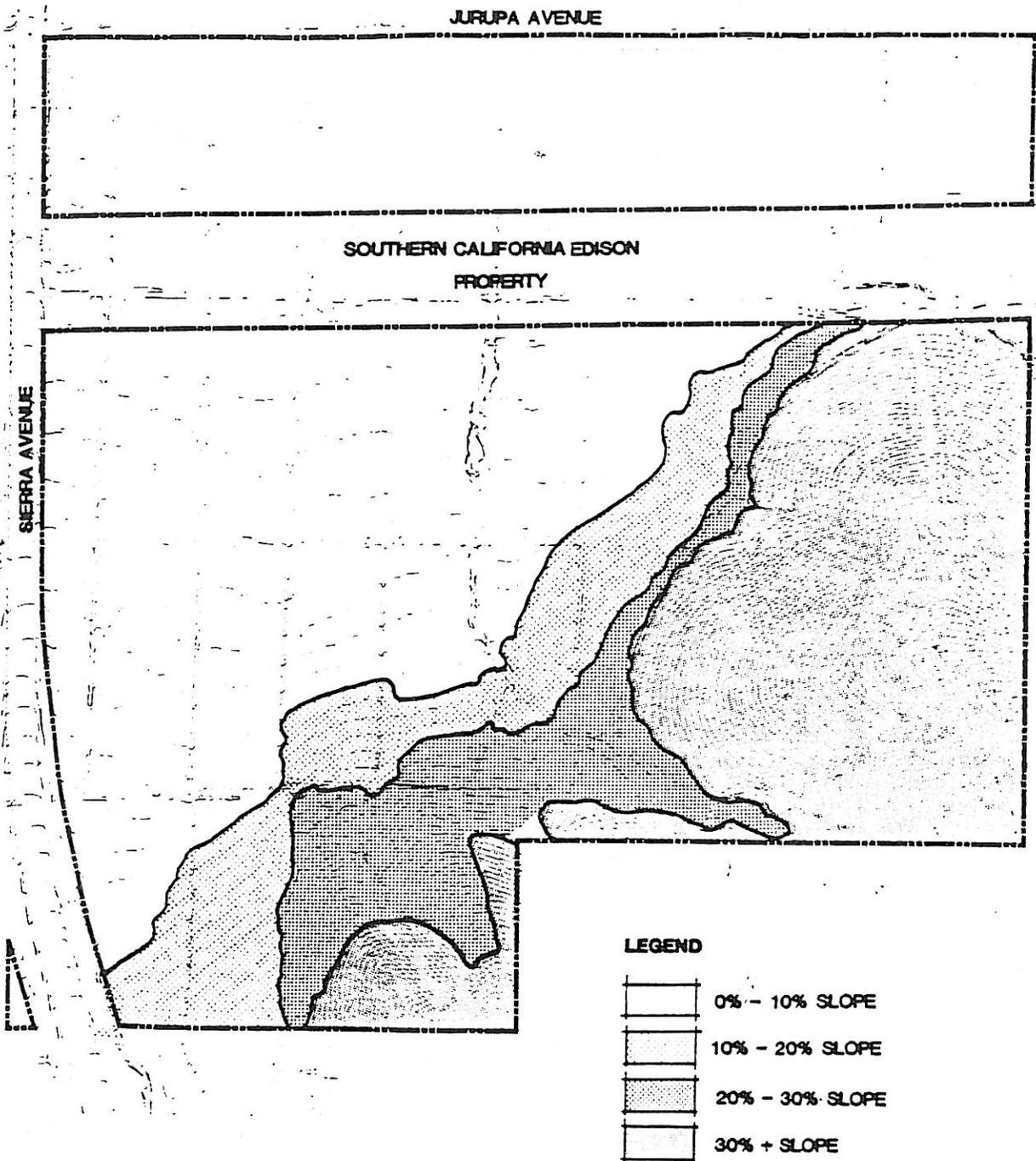


EXISTING CONDITIONS SOUTH PARK

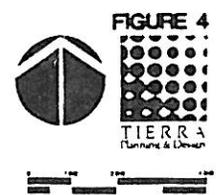
CITY OF FONTANA

FIGURE 3





**SLOPE ANALYSIS
SOUTH PARK
CITY OF FONTANA**



d. 30% + greater slope = 30 acres (27% of the site)

3. Hydrology

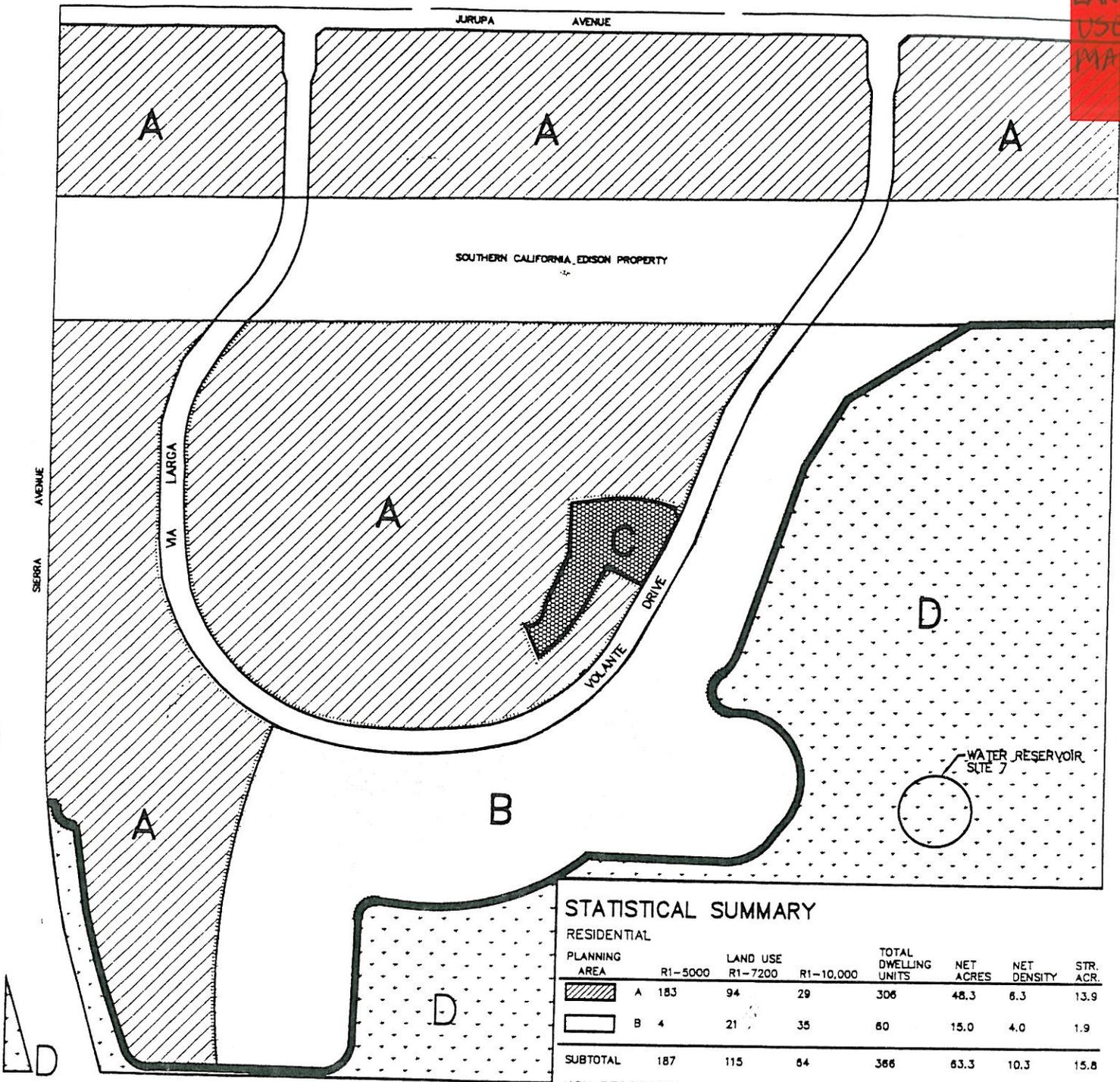
Existing site drainage generally flows northerly from the steepest hillside terrain across the site and ultimately drains to the west. A small riparian area occurs in the upper portion of the site, along the southern project boundary.

D. Development Plan Components

1. Land Use Master Plan

The intent of the Master Plan of Land Use for South Park is to establish the detailed framework for future development of the planned residential community. The objective of the Land Use Plan is to develop residential "neighborhoods" that will provide housing of various types and densities, which will meet a variety of living styles and income levels. The Land Use Plan also provides for the development of recreational land uses, including parks and open space. While the greatest portion of the plan is devoted to residential uses, supporting non-residential uses are proposed to provide a high quality amenity-oriented residential environment.

The 118 acre plan is divided into four major land use "planning areas". Refer to Figure 5, Land Use Master Plan, for a delineation of major land use designations and planning areas. Table A, which follows Figure 5, provides a statistical summary of all residential development by Master Plan designation, density designation, percentage of residential acres, total dwelling units, and percentage of total dwelling units. Provisions for development of these planning areas consist of general design policies and more precise development regulations. These policies and regulations will define the ultimate development character of each land use type within South Park.



STATISTICAL SUMMARY

RESIDENTIAL		LAND USE		TOTAL DWELLING UNITS	NET ACRES	NET DENSITY	STR. ACR.
PLANNING AREA		R1-5000	R1-7200 R1-10,000				
	A	183	94 29	306	48.3	6.3	13.9
	B	4	21 35	60	15.0	4.0	1.9
SUBTOTAL		187	115 64	366	63.3	10.3	15.8
NON RESIDENTIAL							
	C	PARK				1.3	
	D	OPEN SPACE				27.72	
		EQUESTRIAN TRAIL				2.04	
		ROADS (WITHIN PLANNING AREAS)				15.8	
		OTHER ROADS				5.9	
SUBTOTAL						54.7	
GRAND TOTAL						118.0	

AVERAGE LOT SIZE: 7534 S.F.
 MINIMUM UNIT S.F. : 1500 S.F.

LAND USE MASTER PLAN
SOUTH PARK
 CITY OF FONTANA



FIGURE 5
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997

TABLE A
STATISTICAL SUMMARY
RESIDENTIAL DEVELOPMENT

Master Plan Designation	Density Designation	Total D.U. Each Designation	Total Net Residential Acres	% of Total Residential Acres	Total D.U.	% of Total D.U.
A	R-1-5,000	183	48.3	76%	306	76%
	R-1-7,200	94				
	R-1-10,000 and greater	29				
B	R-1-5,000	4	15.0	24%	60	24%
	R-1-7,200	21				
	R-1-10,000 and greater	35				
Total		366	63.3	100%	366	100%

a. Design Policies

The design policies which follow intend to guide site specific development and should be used in conjunction with the development regulations outlined in Chapter IV.

- 1) Locate highest residential densities in areas of flattest terrain, adjacent to Jurupa Avenue.
- 2) Locate lower residential densities (larger single-family units) in sloping terrain, minimizing grading and providing off-site views.
- 3) Create a sense of community/neighborhood identity.
- 4) Use open space, landscaping and urban design to strengthen identity and image.
- 5) Create entries into residential projects with special landscape treatment and entry monumentation.
- 6) Use fences and walls on the perimeter of the property to define property limits, separate use areas, provide on-site security and noise mitigation.
- 7) Scale the height and bulk of buildings to be proportionate with the topography of the site and in harmony with its setting.
- 8) Create a variety of lot sizes to encourage efficiency in design and facilitate a mixture of housing product types.
- 9) Use signage for the purpose of identification and direction. The design of permitted signs should be architecturally integrated with the building design.
- 10) Use lighting which does not cause glare or excessive light spillage on neighboring sites.
- 11) Create materials, colors and a general architectural style which is integrated through each development site to achieve continuity of design.

b. Residential Land Use Designations

The Land Use Master Plan designates a series of development areas for residential uses, linked together by a circulation system consisting of a loop street "collector", South Park Loop. (Note: South Park Loop was renamed on the Tentative and Final Map.)

The Land Use Plan establishes three general density categories for residential uses, R-1-10,000, R-1-7,200, and R-5-5,000. Figure 6, Illustrative Site Plan/Lot Summary follows and identifies the total amount of each residential lot type in South Park.

c. Residential Lots

Figures 7 thru 9 illustrate the three basic lot sizes proposed for South Park. The average lot size for South Park is 7,534 S.F. The minimum unit square footage is 1,500 S.F. This insures that the minimum unit square footage of all homes in South Park will be 1,500 square feet, but could be larger. Each lot type includes a key map, identifying the general location of each product, and a conceptual lot layout.

1) Lot Type A: 5,000 -7,199 S.F. Lots

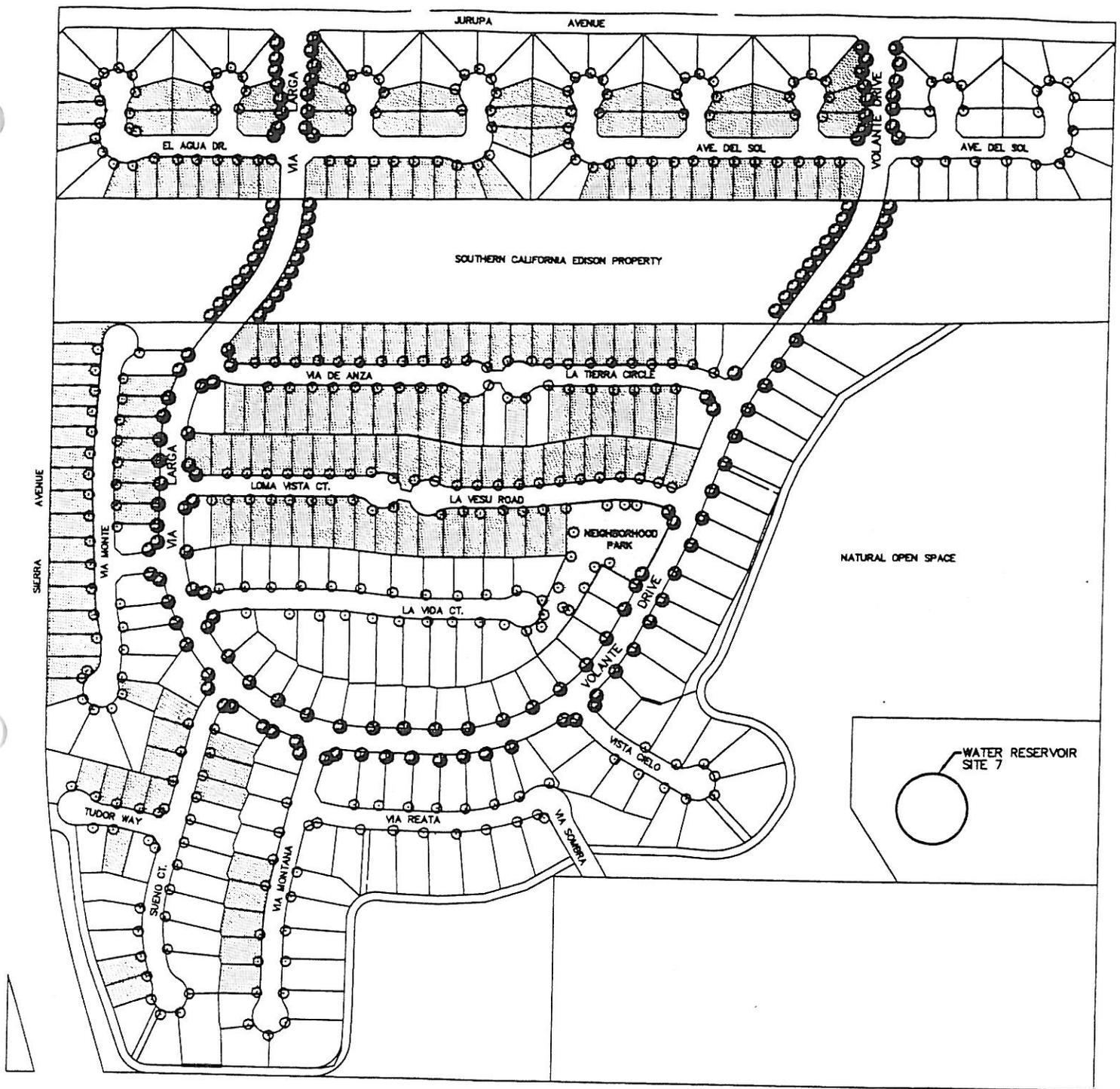
Refer to Figures 7A and 7B, Residential Lot Type A. Prominent characteristics of this lot type are as follows:

- a) Located on flatter terrain
- b) Lot configuration efficiency
- c) High marketability
- d) Minimizes manufactured slopes
- e) Conventional single-family product
- f) 1-2 story structure
- g) Front, side and rear yards
- h) Reduced landscape maintenance
- i) Minimum unit S.F. = 1,500 S.F.

2) Lot Type B: 7,200 - 9,999 S.F. Lots

Prominent characteristics of this lot type are as follows:

- a) Predominantly located on steeper terrain
- b) Less efficiency than 5,000 S.F. lots



MINIMUM UNITS S.F. : 1,500

KEY MAP

RESIDENTIAL LOT TYPE A: 5,000–7,199
S.F. LOTS.

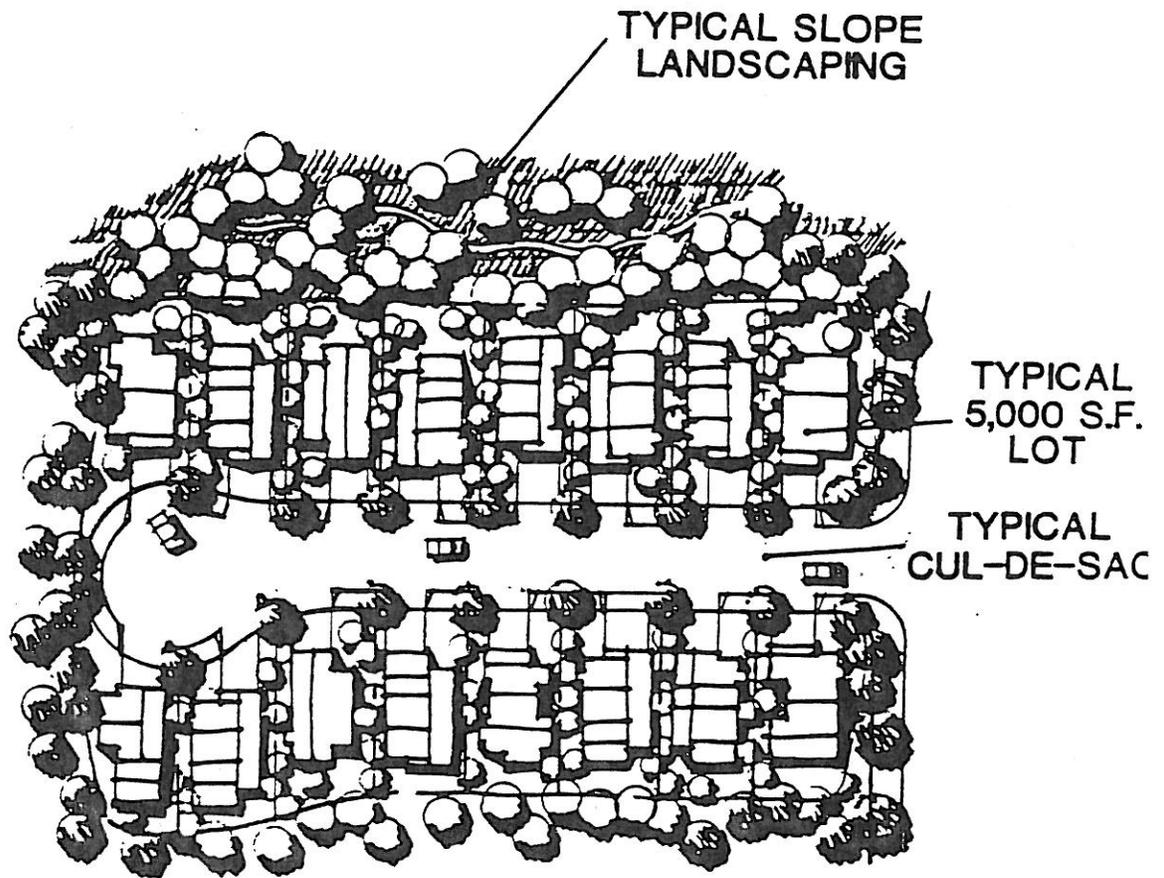
SOUTH PARK

CITY OF FONTANA

FIGURE 7A
EXHIBIT REVISED BY:



adkan
ENGINEERS
NOVEMBER, 1997



CONCEPTUAL LOT LAYOUT
RESIDENTIAL LOT TYPE A: 5,000 – 7,199
S.F. LOTS
SOUTH PARK

CITY OF FONTANA



- c) Some manufactured slopes
- d) Off-site views
- e) Conventional single-family product
- f) 1-2 story structure
- g) Front, side and rear yards
- h) More lot flexibility
- i) Minimum Unit S.F. = 1,500 S.F.

Refer to Figures 8A and 8B, Residential Lot Type B.

3) Lot Type C: 10,000 S.F. and Greater Lots

Prominent characteristics of this lot type are as follows:

- a) Located in steepest graded terrain
- b) Less efficiency than 7,200 S.F. lots
- c) Manufactured slopes occur generally
- d) Best off-site views
- e) Conventional single-family product
- f) 1-2 story structure
- g) Larger front, side and rear yards
- h) Greatest lot flexibility for building layout, recreation, etc.
- i) Minimum unit S.F. = 1,500 S.F.

Refer to Figures 9A and 9B, Residential Lot Type C.

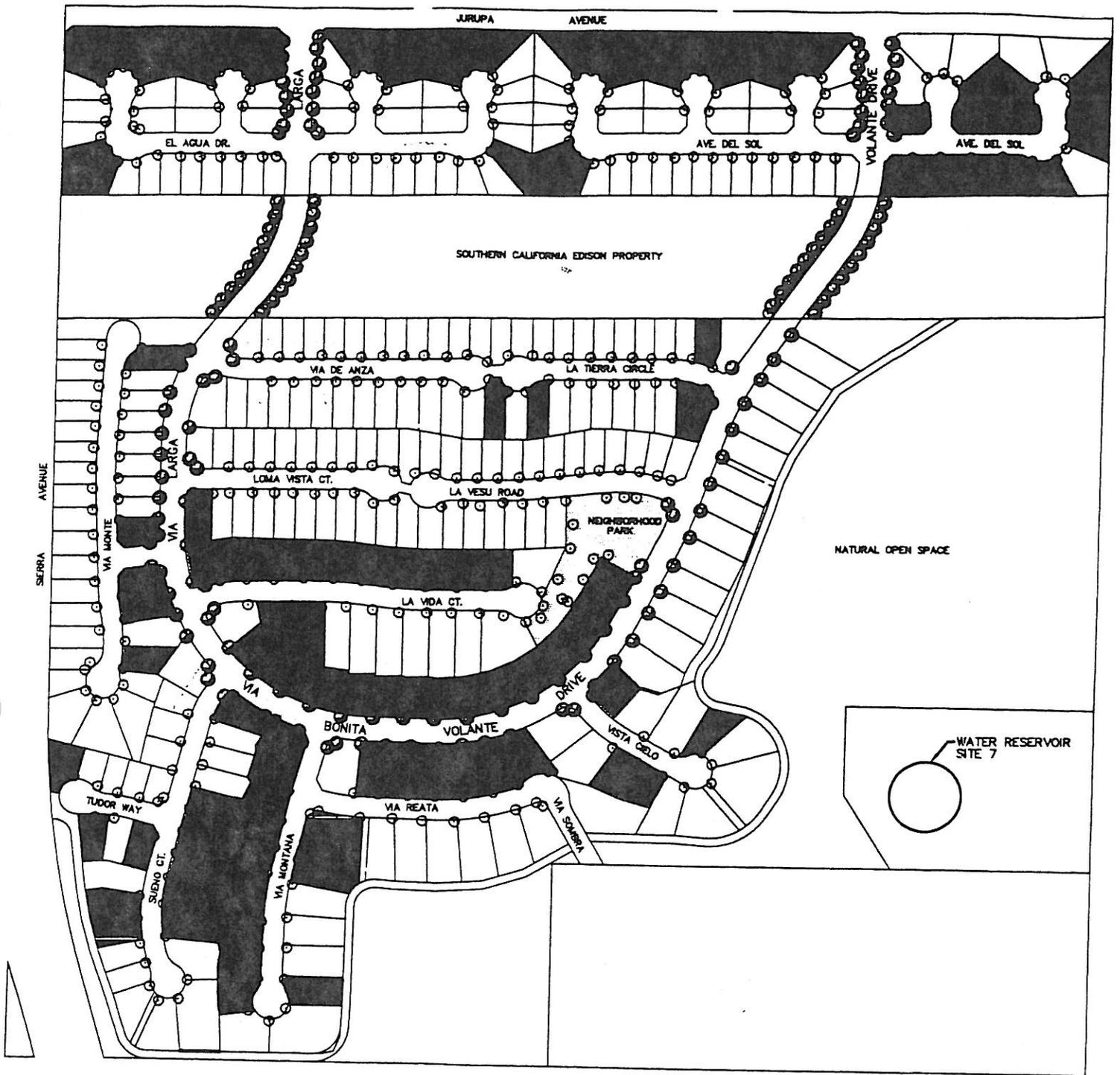
d. Minimum Net Lot Size and Minimum Building Pad Standards.

The minimum net legal lot areas and typical dimensions for South Park residential development are as follows:

<u>Minimum Net Lot Size</u>	<u>Minimum Building Pad Size</u>
5,000 S.F.	4,250 S.F.
7,200 S.F.	5,000 S.F.
10,000 S.F.	5,500 S.F.

The minimum net lot size requirement establishes a minimum lot area that must be included in fee ownership of a lot or legal building site. This is the area that would be included within a lot for sale in a conventional single-family subdivision.

The minimum building pad establishes minimum nominally flat land



MINIMUM UNIT S.F. : 1,500

KEY MAP

RESIDENTIAL LOT TYPE B: 7,200 – 9,999

S.F. LOTS

SOUTH PARK

CITY OF FONTANA

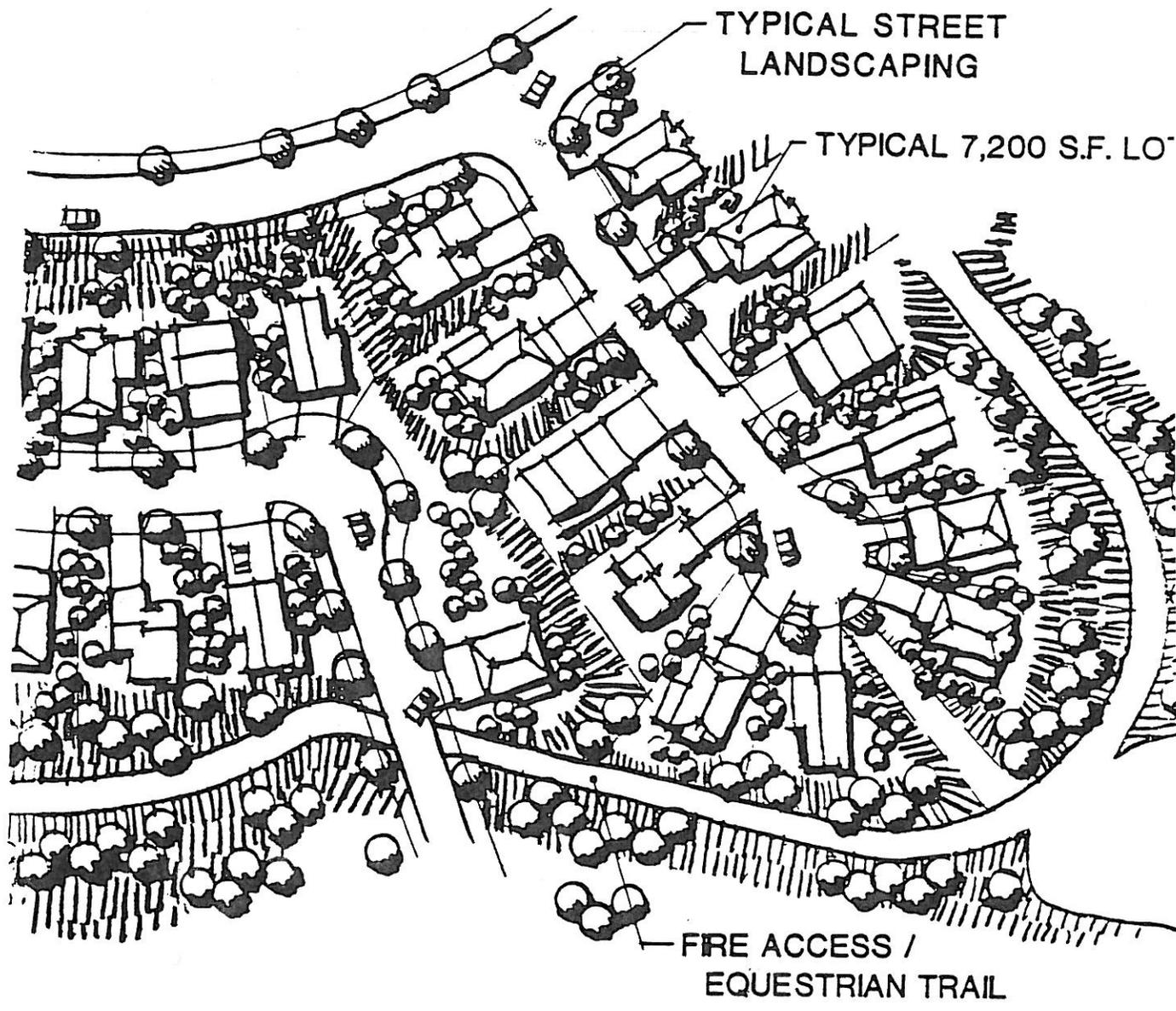


FIGURE 8A

EXHIBIT REVISED BY:

adkan
ENGINEERS

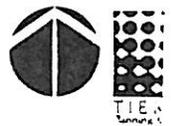
NOVEMBER, 1997



CONCEPTUAL LOT LAYOUT
RESIDENTIAL LOT TYPE B: 7200 - 9,999
S.F. LOTS
SOUTH PARK

CITY OF FONTANA

8B
FIGURE



area for buildings and associated usable yard areas. This area is not absolutely level. Slight grades provide drainage and lots may also include small transition slopes between adjacent pads.

In flat terrain or in gradual sloping areas, the building pad essentially equals the actual lot for practical purposes. In steeper terrain, the lot contains slopes and building pad combined. No structures will be allowed on slopes.

Lots fronting on cul-de-sacs and knuckles, if meeting the minimum net lot size and minimum building pad size square footage specified above, may vary from the pad depths and lengths indicated.

Refer to Appendix E, Residential Lot Definitions.

e. Architectural Product Types

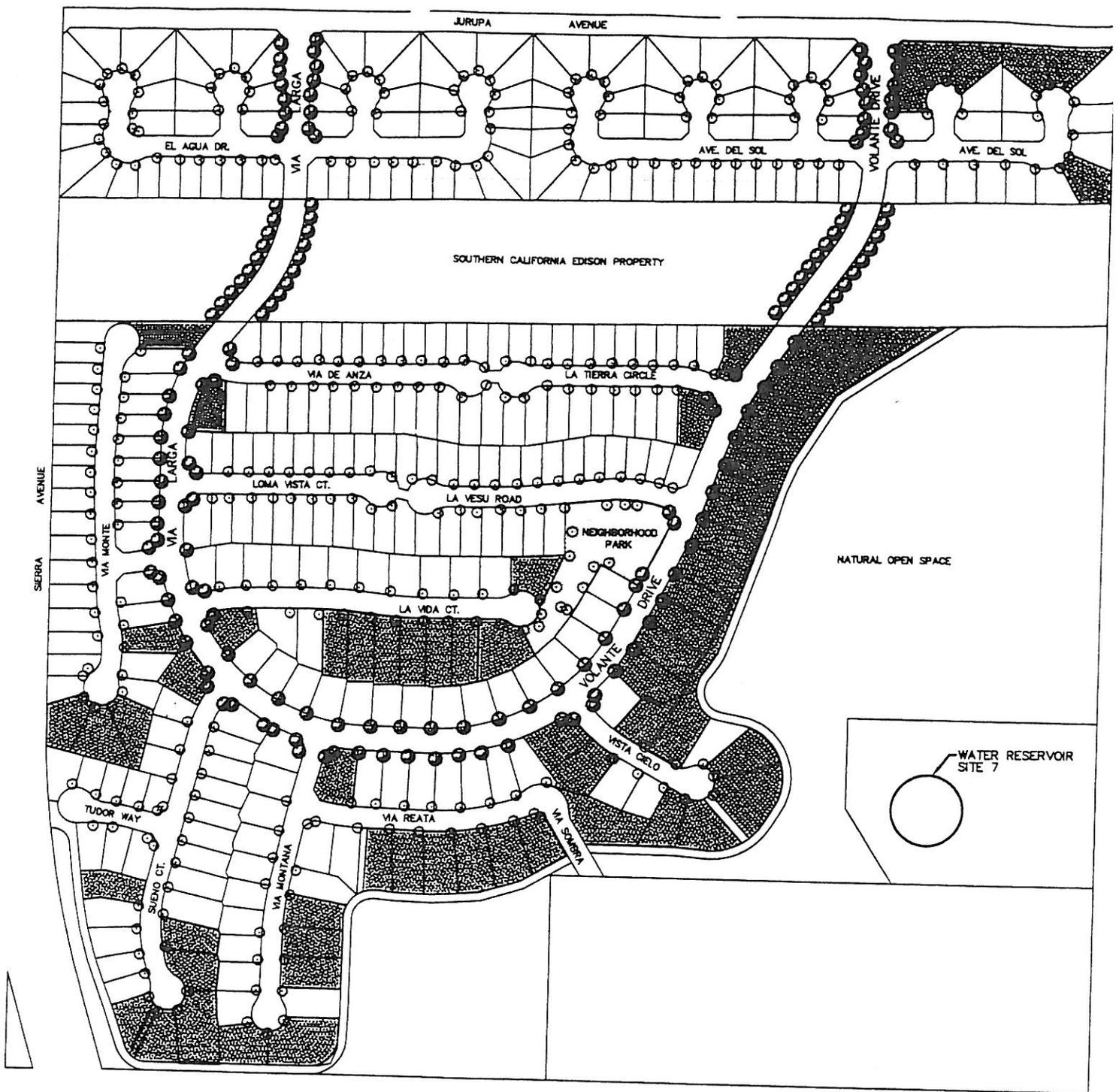
Three basic architectural product types are proposed for South Park. The general location and distribution of these three product designs are illustrated in Figure 10. Products similar to lot type A and B will generally occur on the smaller lots in the project. Products similar to lot type C are planned to be located on the larger lots in South Park.

f. Recreation and Open Space Land Use Designations

The Land Use Master Plan designates parks, open space and trails, and roadways. A neighborhood park of 1.3 acres is planned inside South Park Loop. The equestrian trail and open space area lie along the southern and eastern edges of the project and occupies 31.7 acres. A total of 2.04 acres is devoted to horse trail in Planning Area C.

Refer to Section 3, Open Space/Recreation Concept Plan, for detailed descriptions of these proposed facilities.

A small parcel consisting of .2 acres lies west of Sierra Avenue adjacent to Martin Tudor Regional Park. It will be offered to the City of Fontana for inclusion into the regional park. Planning Area D consists of undeveloped natural open space and trails amounting to 29.0 acres.



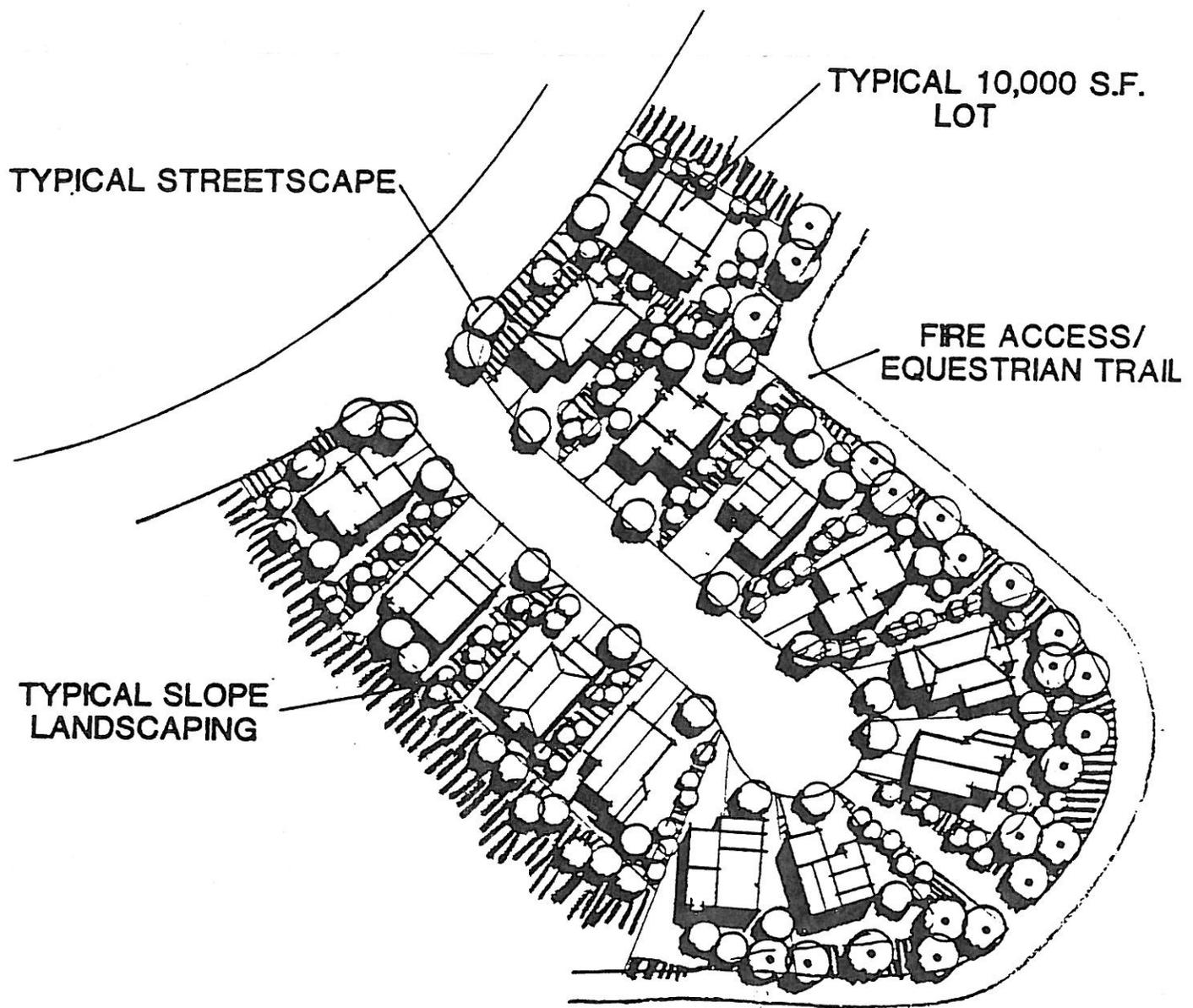
MINIMUM UNIT S.F. : 1,500

KEY MAP
 RESIDENTIAL LOTS TYPE C: 10,000 AND GREATER
 S.F. LOTS

SOUTH PARK
 CITY OF FONTANA



FIGURE 9A
 EXHIBIT REVISED BY:
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 NOVEMBER, 1997



CONCEPTUAL LOT LAYOUT
RESIDENTIAL LOT TYPE C: 10,000 AND GREATER
S.F. LOTS
SOUTH PARK

CITY OF FONTANA

FIGURE 9B



g. Land Use Plan Implementation

The implementation of Land Use Master Plan is the key objective of this Specific Plan. The Land Use Master Plan will be implemented through a staged program of precise plan approvals (i.e., subdivision maps, conditional use permits, site plan approvals, etc.) and the subsequent construction of individual development projects.

Implementation of the Land Use Master Plan is dependent upon the construction of streets, water, sewer, drainage, and other infrastructure facilities throughout the Specific Plan area. Each of the remaining master component plans and concept plans in this Specific Plan contains a specific section which addresses the requirements and programs for infrastructure implementation. The Land Use Master Plan will be realized through the collective implementation of these infrastructure plans.

2. Circulation Master Plan

The Circulation Master Plan for South Park is intended to establish the framework and standards for development of a safe and adequate system of vehicular traffic circulation. The Master Plan contains the following components:

- Proposed alignments for arterial and collector streets.
- Proposed rights-of-way and cross sections for arterial, collector and local streets.

The Circulation Master Plan has been developed using the results of current traffic generation and trip distribution studies. The plan reflects traffic volumes expected to result from ultimate project development as well as the larger area of influence included in the surrounding South Fontana area. A complete traffic study is included in the Environmental Impact Report for South Park.

South Park will be a minor contributor to increased traffic volumes at the I-10 Interchange.

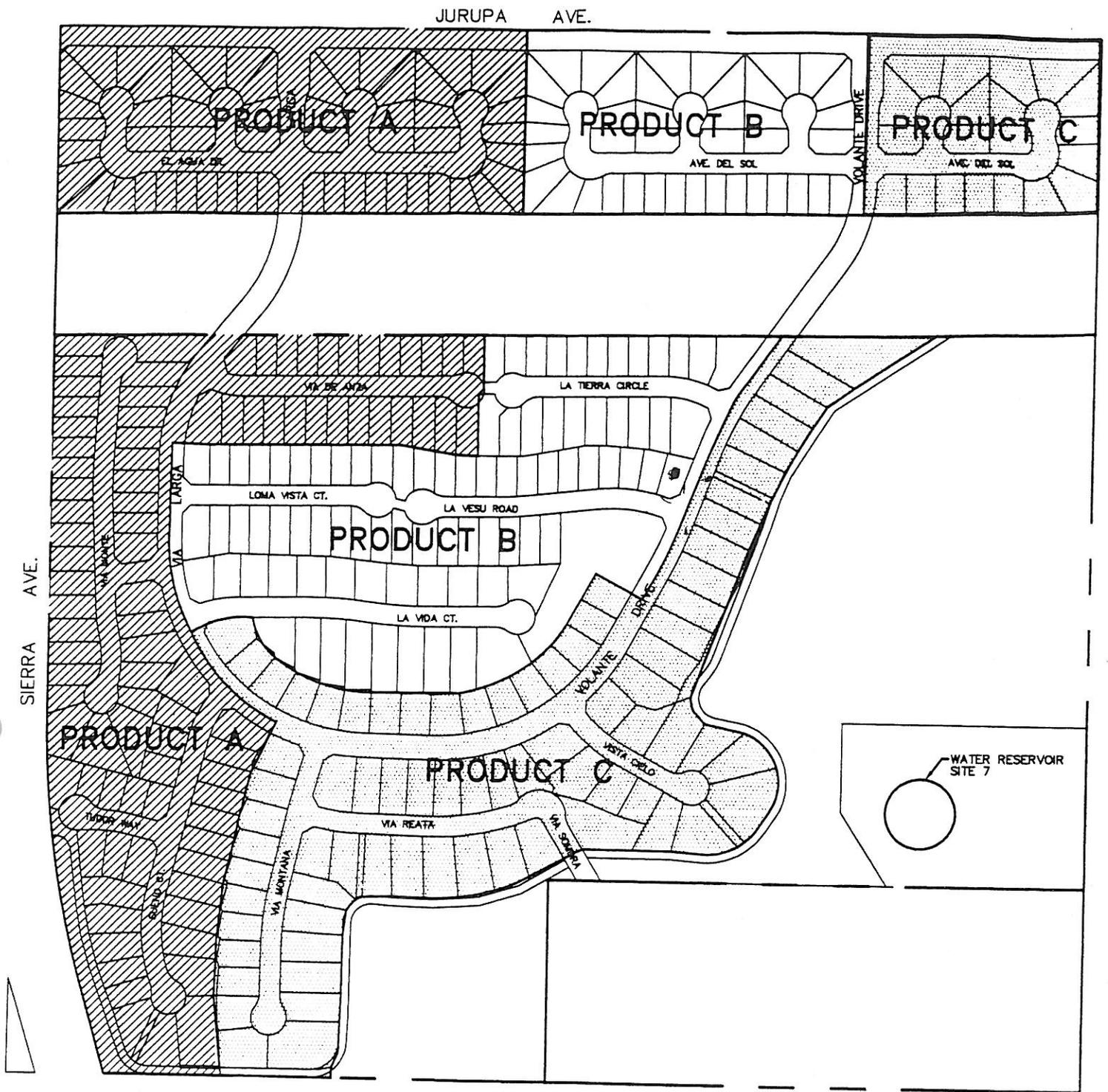


FIGURE 10
 AVERAGE LOT SIZE: 7534 S.F.
 MINIMUM UNIT S.F. : 1500 S.F.
 SCALE : 1" = 350'

ARCHITECTURAL PRODUCTS TYPE
SOUTH PARK
 CITY OF FONTANA



FIGURE 10
 EXHIBIT REVISED BY:
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ENGINEERS
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a. Circulation Design Concept

The Circulation Master Plan for South Park is illustrated in Figure 11, which follows. Vehicular circulation for the planned community emphasizes uniform, safe and convenient access to all portions of the site, and direct access between the community and the arterial network. Two entry points, an eastern entry and a western entry, occur on Jurupa Avenue.

b. External Circulation Components

- 1) Sierra Avenue - Existing pavement will be widened from 4 feet to 11 feet on the easterly side, resulting in an ultimate width of 84 feet to 104 feet, curb-to-curb. Additional improvements include a new landscaped parkway and sound attenuation wall. Road right-of-way consists of 110 feet to 124 feet. North of the S.C.E. property, project improvements occur within a 55 foot half-section on the easterly side. South of the S.C.E. property, the easterly improvements occur within a 55 foot half-section also.
- 2) Jurupa Avenue - New improvements east of Sierra Avenue will consist of half plus 17 feet on the north roadway section and full median concurrent with site development. Median width will be 16 feet, and half-section pavement will extend 28 feet, curb- to-curb on south side. The ultimate right-of-way is 100 feet with a 8-14 foot parkway on the southern edge of the roadway, including a 6 foot sidewalk.
- 3) Sidewalk along Jurupa Avenue will be directly adjacent to the street curb. A landscape buffer will be provided between the sidewalk and the project perimeter wall.
- 4) There will be no sidewalk along easterly side of Sierra Avenue. The pedestrian traffic to the Jurupa Hills park will be directed to cross at Sierra Avenue at Jurupa Avenue. Pedestrian traffic on the east side at Sierra Avenue, for public safety reasons, will be discouraged.

c. Internal Circulation Components

- 1) South-Community Through Street – The Volante Drive/Via Larga Loop internal collector will consist of a continuous 60 foot right-of-way, with no stop signs, connecting the east and west entrances to the project. Pavement width is 40 feet, curb to curb, with a 5 foot sidewalk on each side. This community through street will be

widened to 80 feet at the two Jurupa entrances to allow for large vehicle traffic movements. The west entry street is Via Larga, the east entry street is Volante Drive.

- 2) Cul-de-Sacs - All remaining roadways within South Park are cul-de-sacs, with a 50 foot right-of-way. Pavement width is a minimum of 36 feet, curb to curb, with a 4 foot sidewalk on each side.
- 3) Access to Property to the South - Via Sombra provides a 50 foot R/W and extends to the southerly property line of the project. This R/W, street and utility extension will provide access to the property directly south of South Park.

It is anticipated that the intersection of Sierra Avenue/Jurupa Avenue will require signalization in the future, based on current traffic warrants. Left turn pockets will be provided on Jurupa Avenue at the eastern and western access points. Refer to Figure 12, Street Sections 1 thru 7, Figures 12A thru 12D.

D. Policies

Additional general policies to be used for roadway and circulation development within South Park are as follows:

1. Street layout and design should consider the natural contours of the land, soil types, geologic conditions, drainage patterns and storm water.
2. The street system should consider developments adjacent to South Park, existing or anticipated.

3. The street system should consider safety features, economy of construction and convenience in its design.
4. Circulation design should provide for a safe and adequate means of ingress and egress of vehicular and pedestrian traffic to and within the project.
5. Circulation design should provide for access of emergency vehicles necessary to serve the project area.
6. All public streets should be provided with a level of street lighting designed to protect the health, safety, and welfare of those within the Specific Plan area.
7. Driveways should be designed to a grade and alignment that will provide the maximum safety and convenience for vehicular, emergency, and pedestrian use in a manner which will not interfere with drainage or public use of the sidewalks and/or street area.
8. Direct access should be minimized along the Loop street, as much as possible, as indicated by the plan, to ensure adequate traffic flow characteristics.

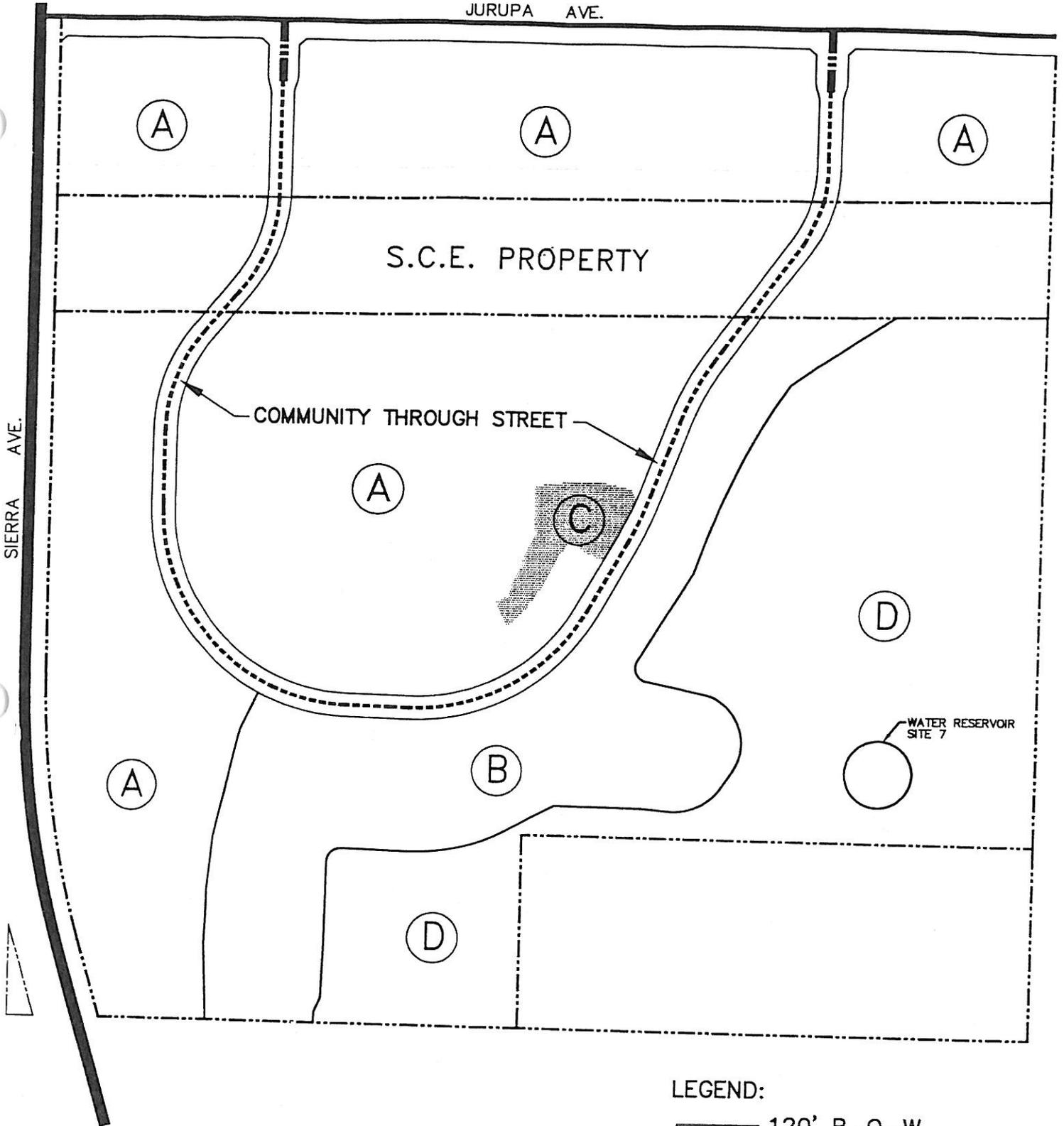
E. Circulation Plan Implementation

As South Park develops, traffic generation will require phased construction of road way improvements within the study area and directly adjacent to the project. Required improvements and the timing of construction will be determined by the City Engineer in accordance with the City's Master plan of Highways and this Specific Plan.

3. Open Space and Recreation Concept Plan

A. Design Concept

The intent of the Open Space/Recreation Master Plan is to establish an integrated, community-wide system of trails and recreation areas within the study area. This system will satisfy several key goals, as follows:



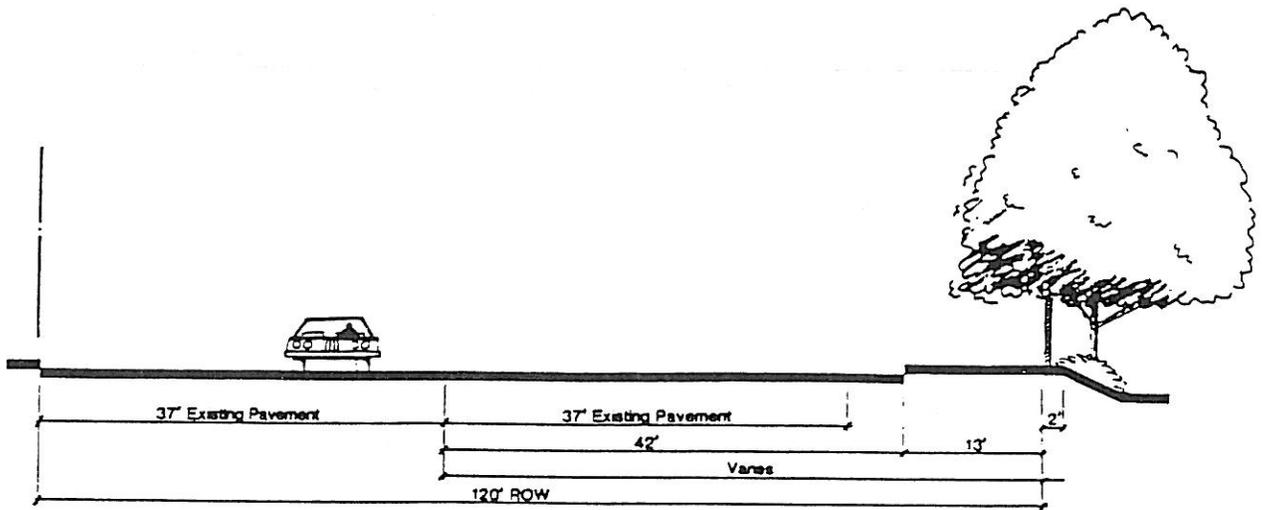
LEGEND:

-  120' R-O-W
-  100' R-O-W
-  80' R-O-W
-  60' R-O-W

CIRCULATION MASTER PLAN
SOUTH PARK
 CITY OF FONTANA

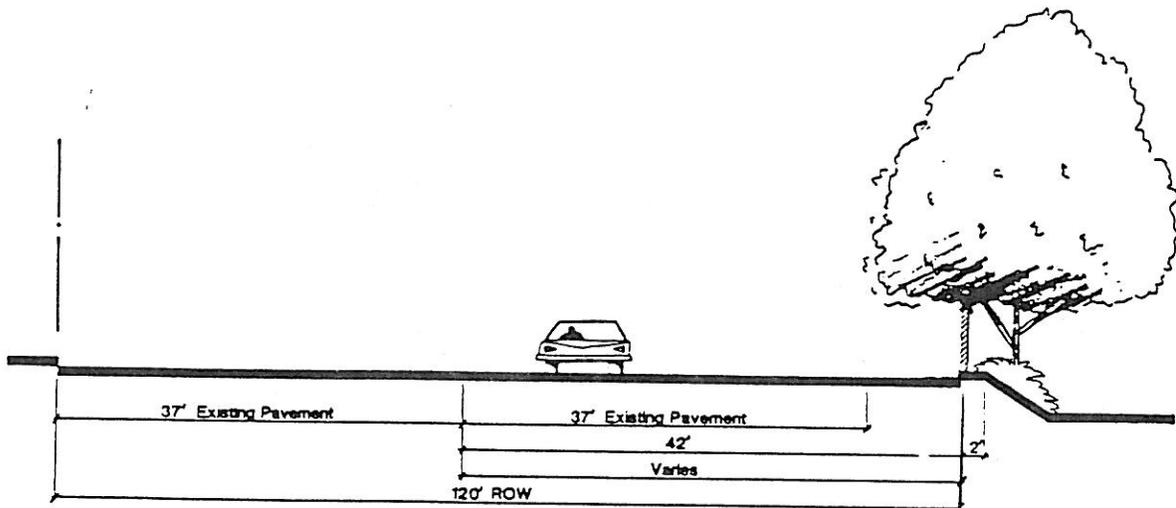
FIGURE 11
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997





1

SIERRA AVENUE
SOUTH OF THE S.C.E. EASEMENT



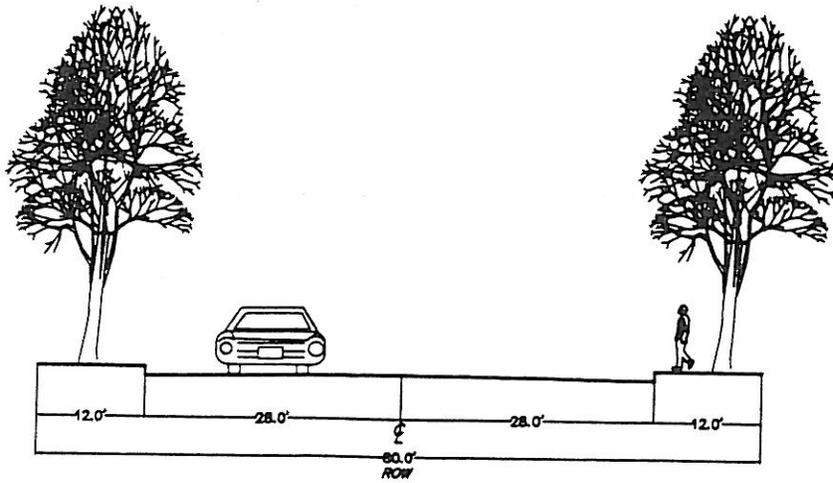
2

SIERRA AVENUE
JURUPA TO S. OF S.C.E. EASEMENT

STREET SECTIONS SOUTH PARK

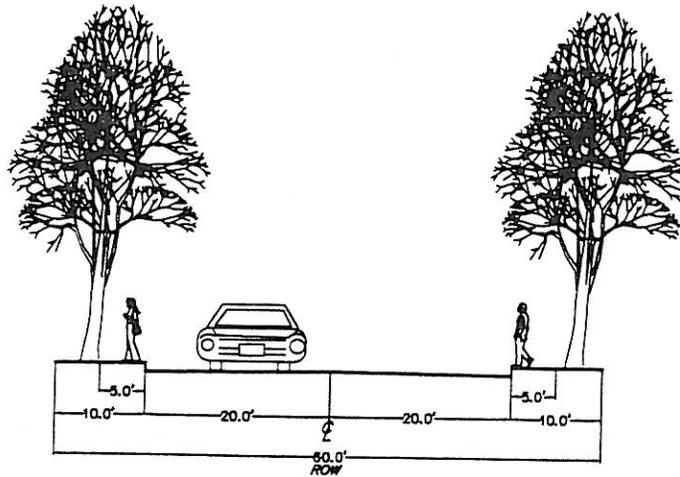
CITY OF FONTANA

FIGURE 12A
EXHIBIT REVISED BY:
adkan
ENGINEERS
NOVEMBER, 1997



3

VIA LARGA / VOLANTE DRIVE
ENTRY AT JURUPA AVENUE



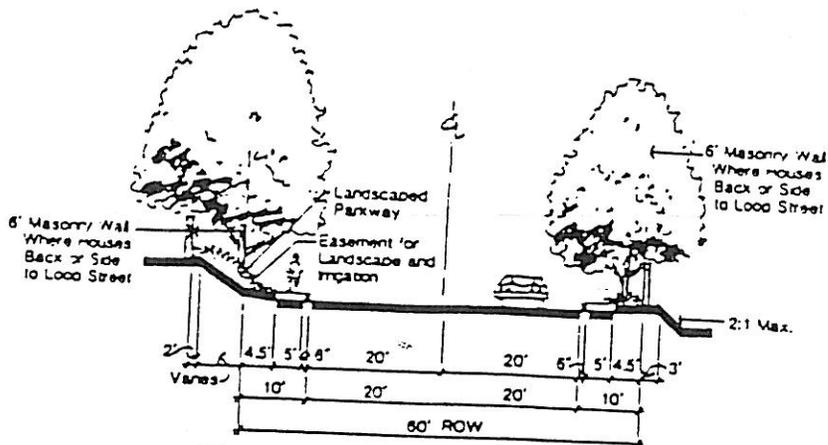
4

VIA LARGA / VOLANTE DRIVE

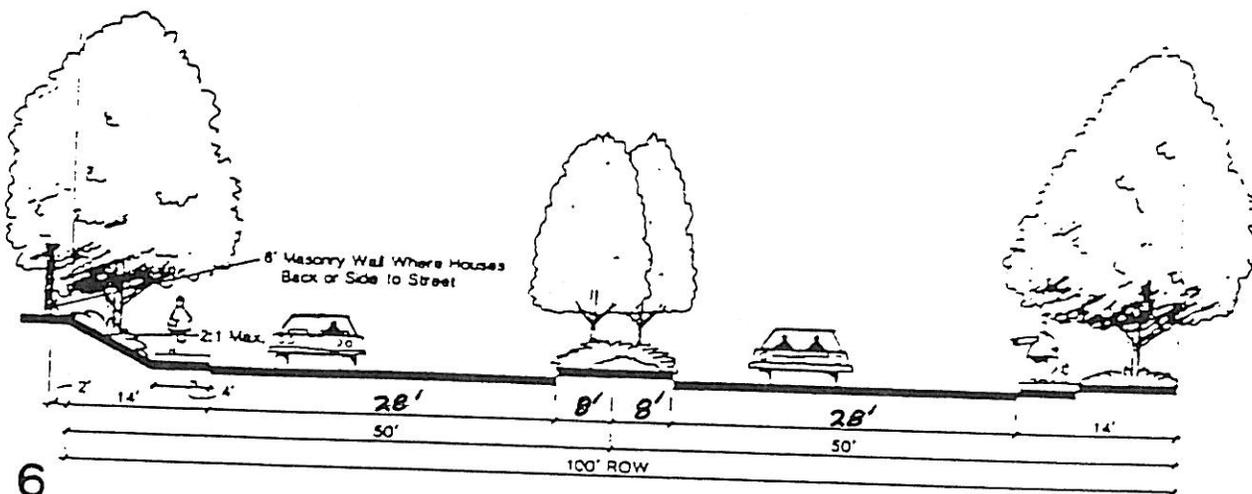
STREET SECTIONS
SOUTH PARK
CITY OF FONTANA



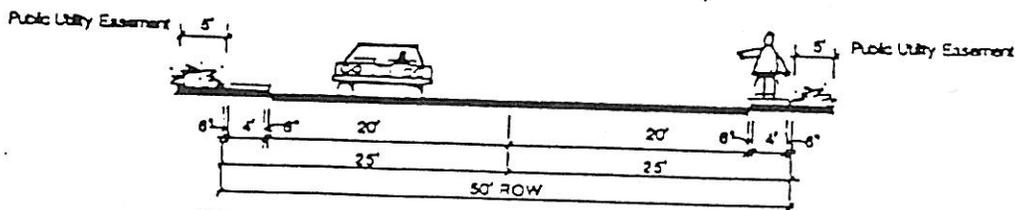
FIGURE 12B
EXHIBIT REVISED BY:
adkan
ENGINEERS
NOVEMBER, 1997



5 VIA LARGA / VOLANTE DRIVE



6 JURUPA AVENUE



7 LOCAL STREET

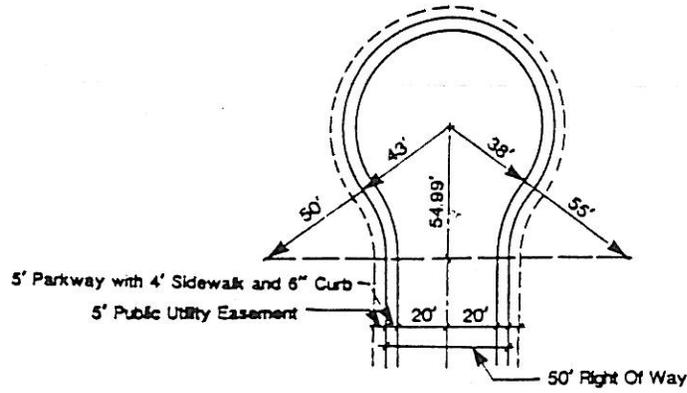
Note: 5' utility easement is available for landscaping.

STREET SECTIONS SOUTH PARK

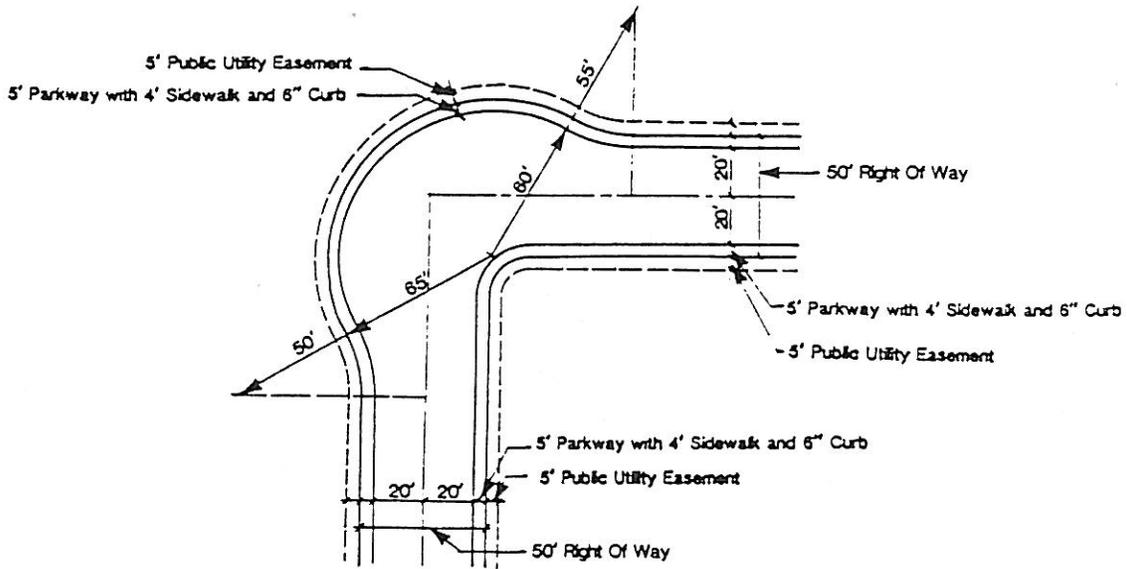
CITY OF FONTANA

FIGURE 12C





TYPICAL CUL-DE-SAC
50' R.O.W STREET



TYPICAL KNUCKLE DESIGN
50' R.O.W. STREET

SOUTH PARK

CITY OF FONTANA

FIGURE 12D



- 1) Provide adequate trail linkages between Martin Tudor Regional Park and South Park.
- 2) Provide an adequate extension of the regional equestrian trail around South Park.
- 3) Provide recreational opportunities for residents of South Park and the surrounding community.

The Open Space/Recreation Master Plan is illustrated in Figure 13, and identifies a series of recreation design elements which meet the stated goals listed above.

B. Recreation and Open Space Components

1) Neighborhood Parks

In South Park it is intended to meet the passive and active recreation needs of residents of the planned community. 1.3 acres is devoted to a neighborhood park.

A neighborhood park of 1.3 acres is proposed to consist of a tot lot, open turf area, picnic tables, drinking fountain, tree planting and BBQ.

These amenities are listed in Chapter IV, Specific Plan Implementation, Section F-5, Parks.

The 20 foot wide regional equestrian trail is designed to extend adjacent to the site to integrate this use with the adjacent regional park, and will be used jointly for fire access.

The park site will be developed by the applicant and dedicated to the City.

Planning Area D consists of 29.0 acres and is to be left as undeveloped open space and offered for dedication to the City of Fontana. Maintenance of all open space and parks is proposed to be provided by a Community Facilities District.

C. Community Trail System

Recreational opportunities adjacent to South Park include the Jurupa Hills Regional Park which consists of 270 acres of undeveloped active and passive open space and an 18 acre developed park facility. This improved

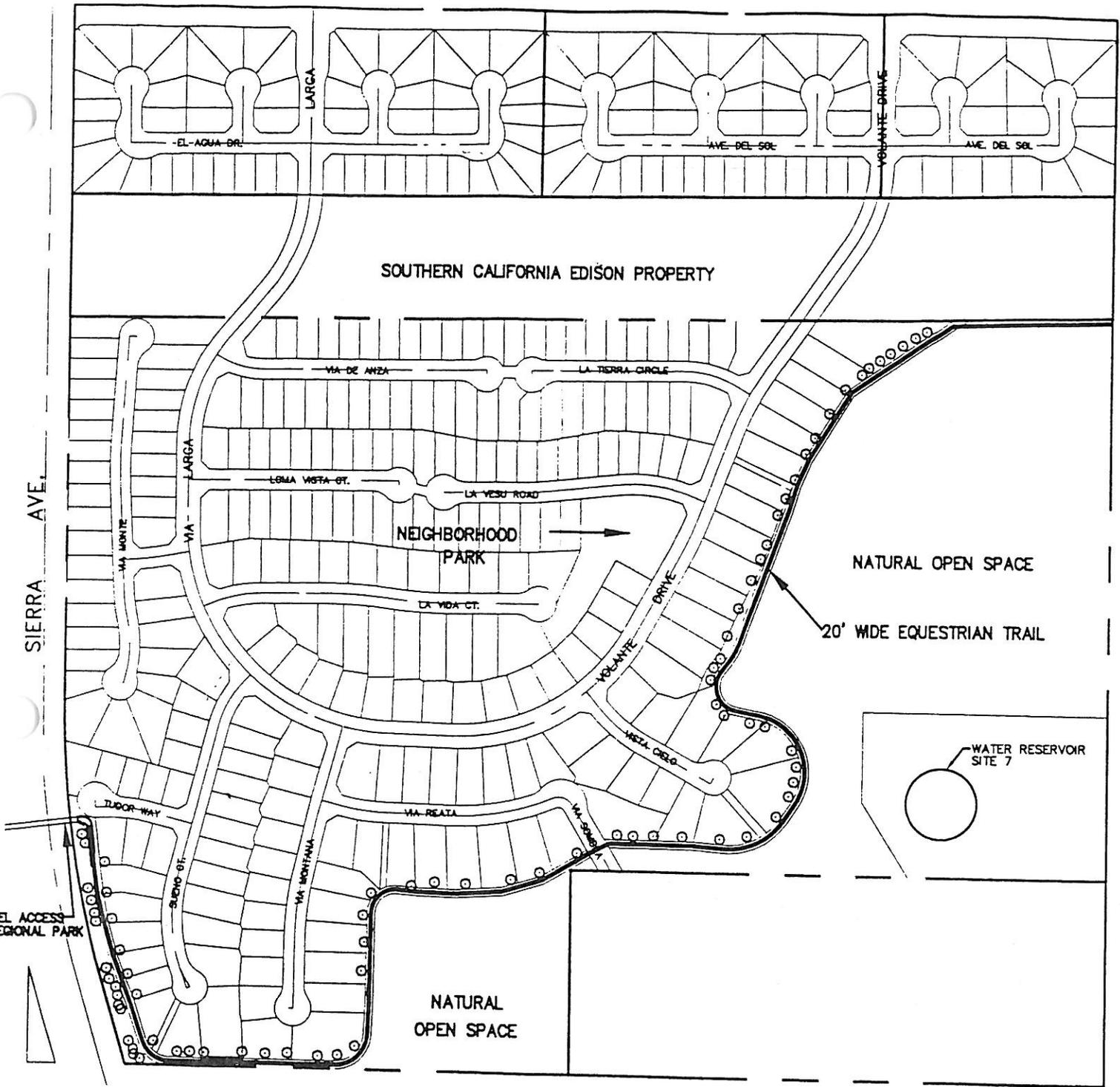
park facility includes areas for picnicking and equestrian and also includes a nature center.

A major equestrian trail linkage connecting the Regional Park and extending under Sierra Avenue and around South Park to the existing equestrian trails to the east.

A 20 foot wide trail will enter South Park along Sierra Avenue and extend south and east along the adjacent open space. The trail will be constructed of decomposed granite or other material as determined by the City Engineer for steep slope trail areas by the applicant and also provide fire truck access. The trail is proposed to curve around the low density residential area at the eastern edge of the project and extend north and east toward the Edison property ultimately connecting to the trail system. The trail will be dedicated to the City. The Equestrian Trail will receive the following improvements:

- 1) Removable metal bollards or other as approved by the Community Development Director (2190-3RC, Columbia Cascade Timber Co.) at each end of the trail will prohibit vehicular traffic but allow horse entry.
- 2) Six foot cinder block fence on the home side of the equestrian trail.

Refer to Figure 14 for a typical cross section of the equestrian



OPEN SPACE / RECREATION MASTER PLAN
SOUTH PARK
 CITY OF FONTANA

SCALE : 1" = 350'
 FIGURE 13
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997



trail.

Additional pedestrian access proposed throughout South Park include the following:

- 1) A six foot pedestrian sidewalk proposed along the south side of Jurupa Avenue in the 8-14 foot wide parkway.
- 2) Four foot sidewalks on both sides of all local cul-de-sac streets in South Park.
- 3) Five foot wide pedestrian sidewalks on both sides of Volante Drive and Via Larga Loop.
- 4) Access will be provided between cul-de-sacs on Loma Vista Drive and La Vesu Road Streets and Via De Anza and La Tierra Circle Streets.
- 3) A “Trespass Discouragers” sign will be installed by S.C.E. on the transmission towers. The cost of the installation will be funded by the applicant.

4. Landscape Concept Plan

A. Landscape Concept

The intent of the Landscape Concept Plan is to enhance the visual qualities of South Park by blending architectural form with the landscape. Master landscape planting will provide elements that enhance the character of the site, establishing a project theme and community identity.

The Landscape Concept Plan utilizes and accentuates the strong visual elements of the site, such as the Jurupa Mountains. Rounded, dome shaped trees, in conjunction with other trees and flowering shrubs, will establish a consistent feeling of community identity by blending with the rounded hill backdrop. Tree-lined streets will complement residential architecture in the various neighborhoods. Planting will accent community elements; walls with flowering vines and shrubs will define neighborhoods.

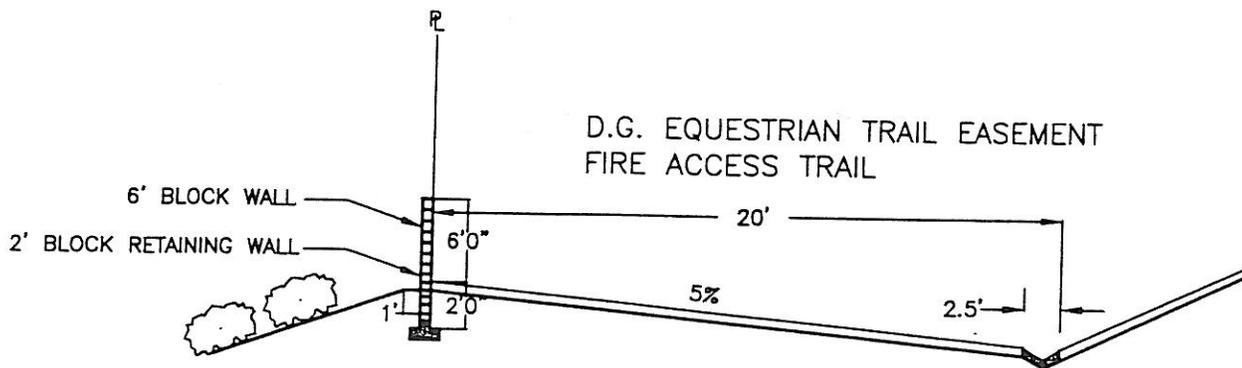
The landscape concept for South Park emphasizes dominant plant materials, mainly tree forms, which will act as “canopies” and

vertical elements within the community, particularly at the project entries. While each street has a particular identity, a continuity exists in the community by way of the basic form of the plant materials, particularly along the loop road.

B. Landscape Design Guidelines

The following guidelines are intended to promote a consistent and careful treatment of street tree plantings and community-wide landscaping programs:

- 1) Street trees should, in most instances, be planted in informal groupings, where parkway space permits.
- 2) Street tree planting along arterials and collectors should include, where possible, areas of mounded turf or shrub plantings in masses.
- 3) Tree and shrub areas should be mass planted at key areas to emphasize entries, transitions and destinations.
- 4) All Master Plan landscape planting areas shall be adequately irrigated and controlled by an appropriate computer system and maintained.
- 5) Landscaping should be used to accentuate view windows into neighborhoods, open space areas, and parks.
- 6) Use of drought-tolerant plant material and drip-irrigation systems are encouraged for water conservation.
- 7) Vegetation of varying heights, textures, and colors should be used in conjunction with walls and fences that define neighborhood boundaries.
- 8) Uniform palettes of plant materials in simple compositions are recommended to achieve a "Park-like" design quality.

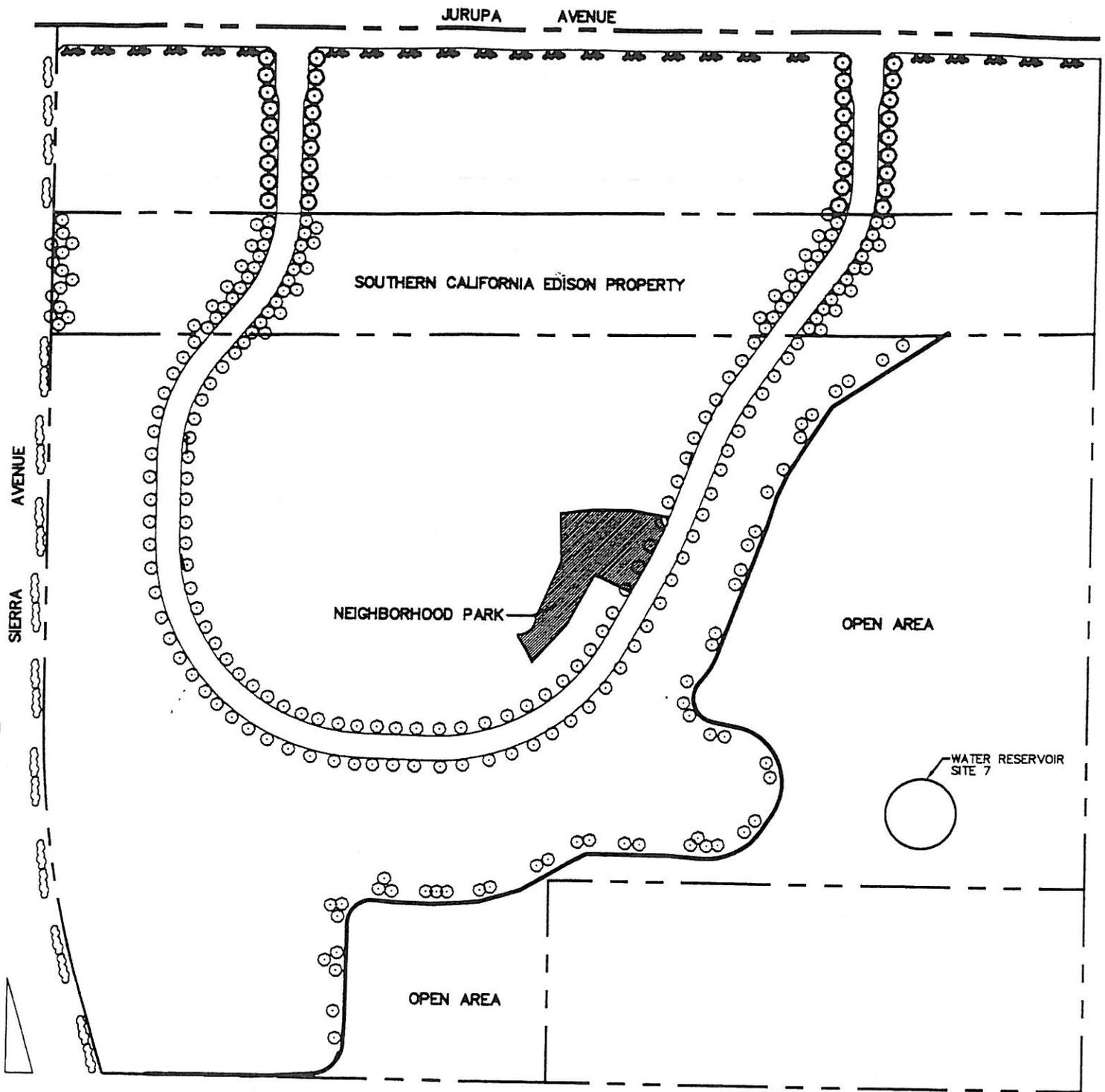


1. SEE OPEN SPACE/RECREATION PLAN FOR THE LOCATION OF THESE TYP. TRAILS.
2. LANDSCAPE WILL BE PROVIDED ON ALL SLOPES WITH/IN THE PROJECT AREA.
3. EROSION CONTROL DEVICES (CONCRETE TRENCH DRAINS, DRAINS ETC.) SHALL BE APPROVED BY CITY ENGINEER.

TYPICAL TRAIL SECTIONS
SOUTH PARK
 CITY OF FONTANA



FIGURE 14
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997



LEGEND:

- JURUPA AVE. BUFFER EDGE
- BUFFER EDGE TREATMENT
- PARK SITES
- COMMUNITY ENTRY
- COMMUNITY COLLECTOR

LANDSCAPE MASTER PLAN
SOUTH PARK
 CITY OF FONTANA



FIGURE 15
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997

- 9) All street trees should be planted with the yard landscaping in front or side yards, not the public right-of-way.

C. Elements of the Master Landscape Plan

The Landscape Master plan for South Park is shown in Figure 15 and identifies a number of areas including community entries, streets, buffer zones and parks which will receive particular landscape treatments.

The following text provides a description of the major elements of the Master Landscape Plan.

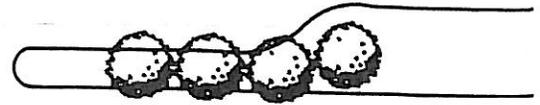
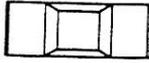
1) Community Entries

The master plan proposes special architectural and landscape treatments for the two major entries to the community and the corner of Sierra Avenue/Jurupa Avenue. The major entries contain plant material which frame and define specific areas as entrance statements for the community.

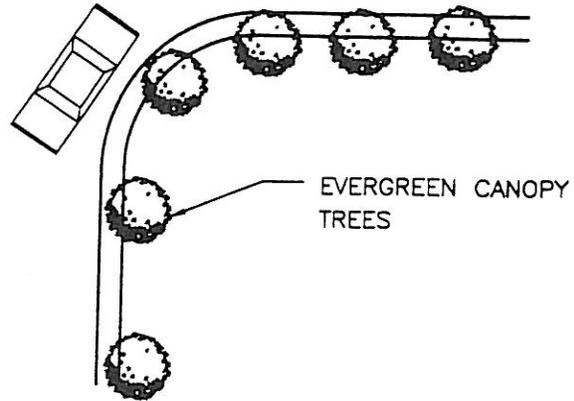
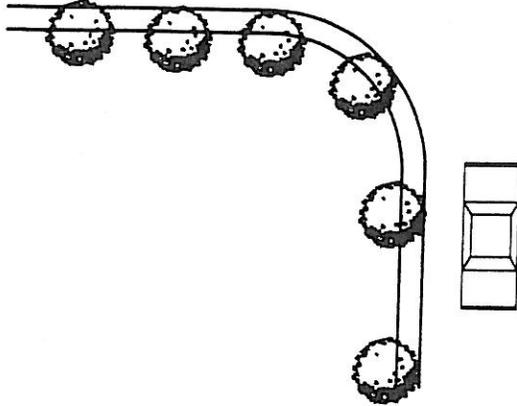
Round headed "dome" shade trees such as Koelreuteria act to reinforce the entry statement. The deep, bright green color and silhouettes create a color and form which identifies to the visitor or resident that they are about to enter the community. Low, stucco and masonry entry walls with project logo and graphics will be utilized to help define the entrance and accentuate the community concept. Other plant materials will be used to enrich this statement.

Figure 16, Project Entry Illustrative, presents a typical entry plan view and elevation at the intersection of Jurupa and the Loop Road.

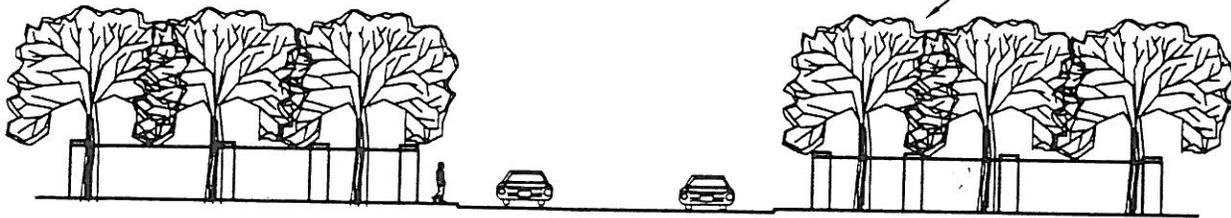
Figure 17 presents a plan view and elevation of the entry monument proposed for the intersection of Sierra Avenue/Jurupa Avenue. A low seat wall and entry signage wall will be provided; plant and masonry materials will be integrated with the two project entries at Jurupa Avenue. Figure 17A illustrates a site entry perspective.



JURUPA AVE.



VIA LARGA / VOLANTE DRIVE
(EAST OR WEST)

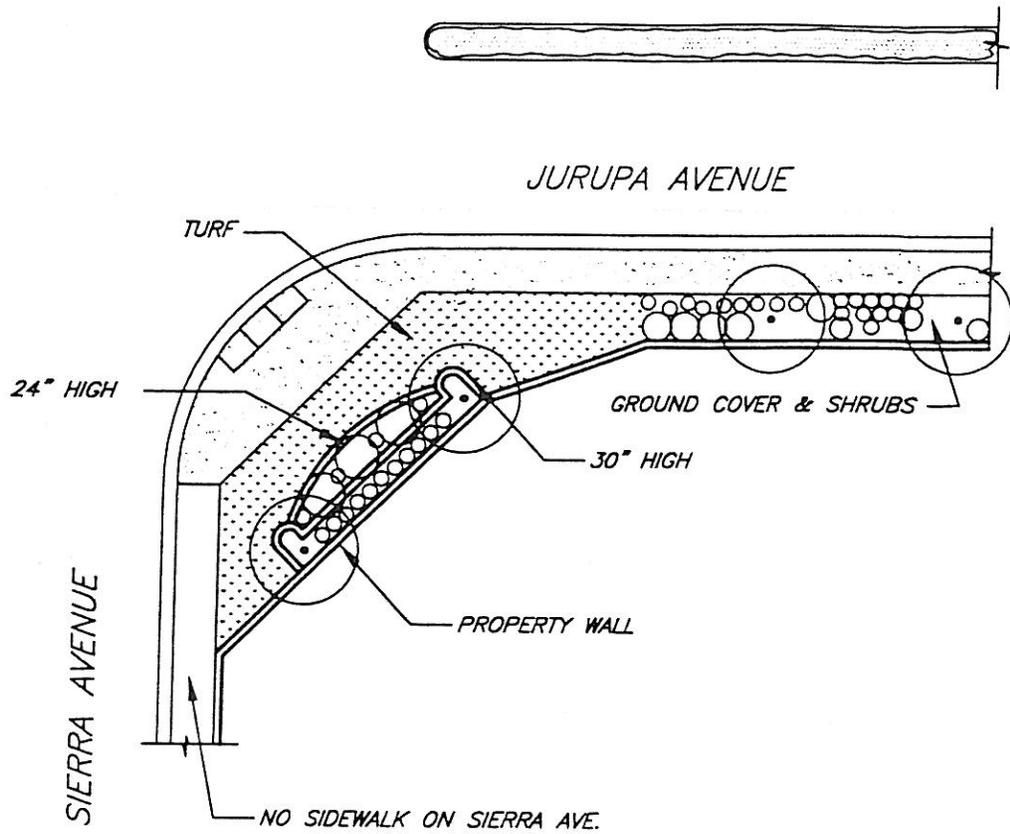


VIA LARGA / VOLANTE DRIVE
(EAST OR WEST)

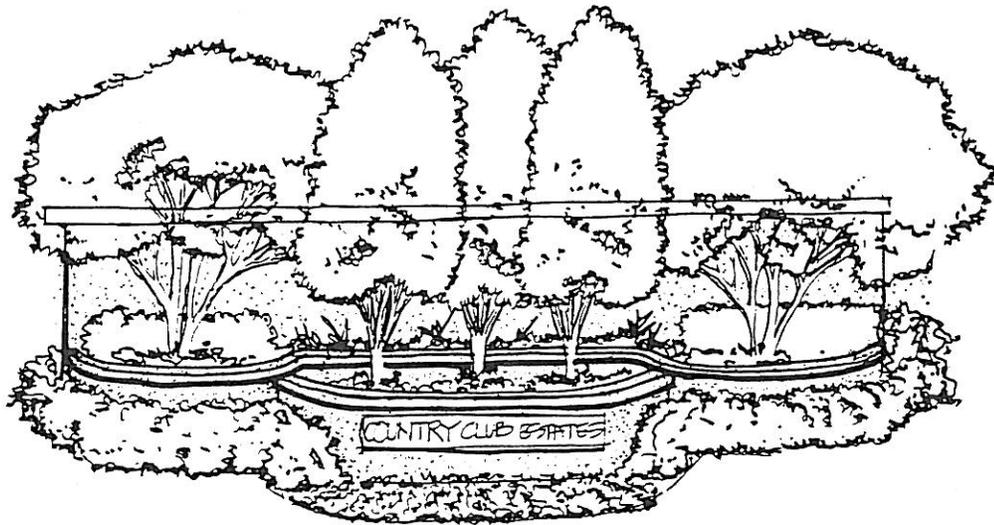
PROJECT ENTRY ILLUSTRATIVE
SOUTH PARK
CITY OF FONTANA



FIGURE 16
EXHIBIT REVISED BY:
adkan
ENGINEERS
NOVEMBER, 1997



NOTE: ENTRY MONUMENT SHALL CONFORM TO SAFE SIGHT DISTANCE REQUIREMENTS AS REQUIRED BY CITY ENGINEER.



SIERRA/JURUPA ENTRY MONUMENT
SOUTH PARK
 CITY OF FONTANA



FIGURE 17
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997

2) Community Collector and Local Streets

The Loop Road will be planted with a single, uniform tree material of distinctive character, to identify this street from all others during the entire year. Suggested species include Sycamore, or Oak. Local streets will be planted with tree species to accent the community collector. Suggested species include Liquidambar, Pine or Plum.

3) Streetscape Treatments

a) Arterial Buffers

Sierra Avenue (east side) adjacent to South Park is planned to provide a 6-13 foot wide, heavily landscaped edge providing visual buffering to residential areas, a sound attenuation wall, and a distinctive appearance as a City gateway. Informal tree masses, such as Liquidambar and Pine will be mixed with mounding flowering shrubs, and ground cover or turf. Trees will be 15 gallon size.

An additional 6 foot wide landscaped buffer at the east side of Sierra adjacent to the S.C.E. property will be provided behind the right-of-way.

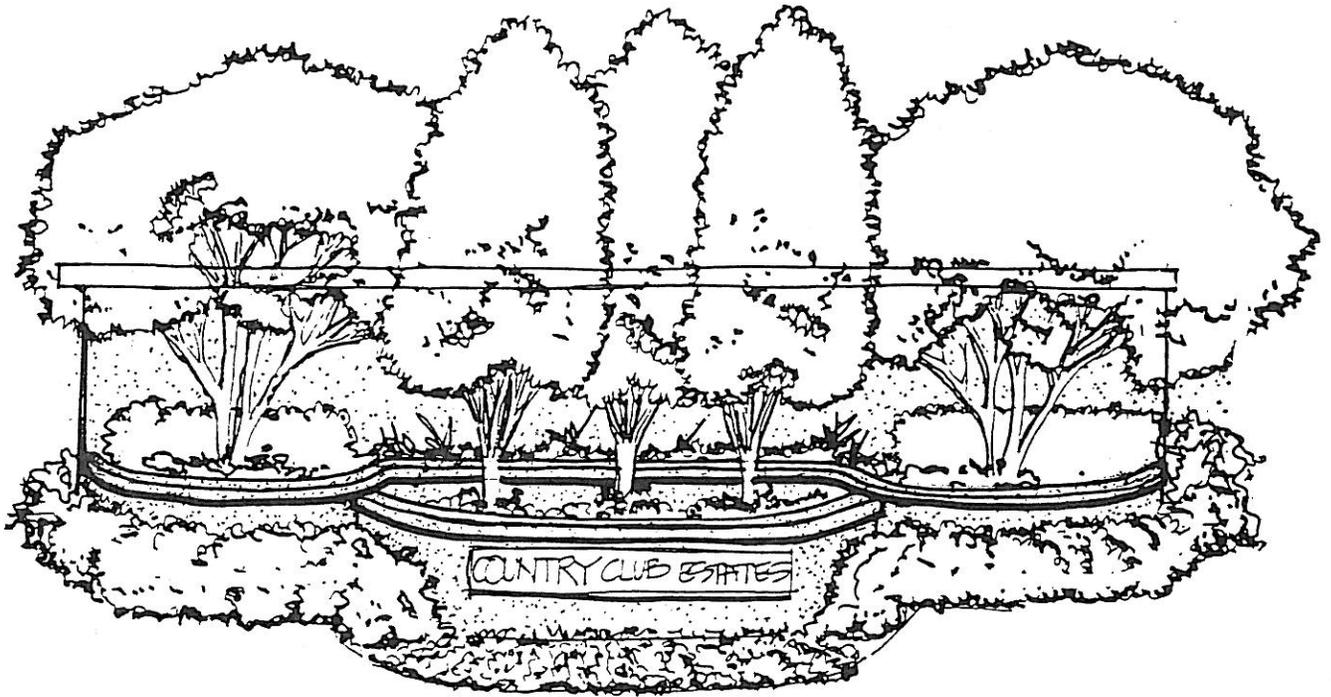
The Jurupa Avenue edge will also provide an attractive landscape statement. Formal planting of trees such as Liquidambar, shrubs such as Raphiolepis and flowering vines of spreading character on the perimeter wall are planned. The parkway slope along Jurupa Avenue will be planted with erosion control ground cover.

Refer to Figure 18, Arterial Edge Treatments, which follows.

Jurupa Avenue will include a landscaped median.

b) Slope and Erosion Landscaping

All manufactured slopes in the open space areas of South Park will be hydroseeded with native ground cover receive slope and erosion control trees, shrubs and ground cover.



SIERRA / JURUPA ENTRY

ENTRY PERSPECTIVE
SOUTH PARK
CITY OF FONTANA

FIGURE 17A
EXHIBIT REVISED BY:
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NOVEMBER, 1997

c) Park Sites

The neighborhood park will be landscaped to create turf play areas. Where space allows, meandering tree lined walks and shaded areas with benches for resting, meeting, and supervising children at play will be provided.

All park trees shall be of 15 gallon minimum size material.

d) Edison Property

A 6 foot wide buffer, along the S.C.E. property, will be landscaped and irrigated from sprinklers in street right-of-way on each side of the loop road, east and west. Landscaping will include 6' to 8' tall shrubs and or groundcover.

Table B presents a list of recommended tree species for streetscape plantings in South Park.

e) Single-Family Dwellings

All single-family dwellings are required to obtain approved landscape and irrigation plans prior to issuance of building permits.

4) Walls and fencing – Walls and fencing for South Park, as described in Figure 19, Wall/Fence Plan, consists of the following:

- a) The “project identity” wall will be eight feet on Sierra between the Jurupa intersection and the S.C.E. property, and on Jurupa, between the Sierra intersection and the first Loop Road entry.

The desired noise level for residences adjacent to Sierra and Jurupa Avenues (45 db) will be attained by the following:

- Construction of a slumpstone wall,

The height of the wall shall be 6 to 8 feet (see Wall and Fence Plan, Exhibit 19, on next page).

- b) A site specific noise study will be provided prior to issuance of Certificates of occupancy to verify adequate noise mitigation to those levels specified in the E.I.R. Refer to Figure 20, Project Identity Wall.
- c) A six foot cinder block fence between home sites and the equestrian trail.

Fencing on the north and south edges of S.C.E. Property will be masonry.

TABLE B

SOUTH PARK
MASTER TREE LIST

Arterials: Liquidambar Styraciflua (American Sweetgum)
Liriodendron Tulipifera (Tulip Tree)*
Pinus Halepensis (Aleppo Pine)*
Alnus Rhombifolia (California White Alder)

Collectors: Cinnamomum Camphora (Camphor)
Koelreuteria Paniculata (Goldenrain Tree)
Liriodendron Tulipifera (Tulip Tree)*
Pinus Halepensis (Aleppo Pine)*
Liquidambar Styraciflua (American Sweetgum)
Tipuana Tipu (Tipu)

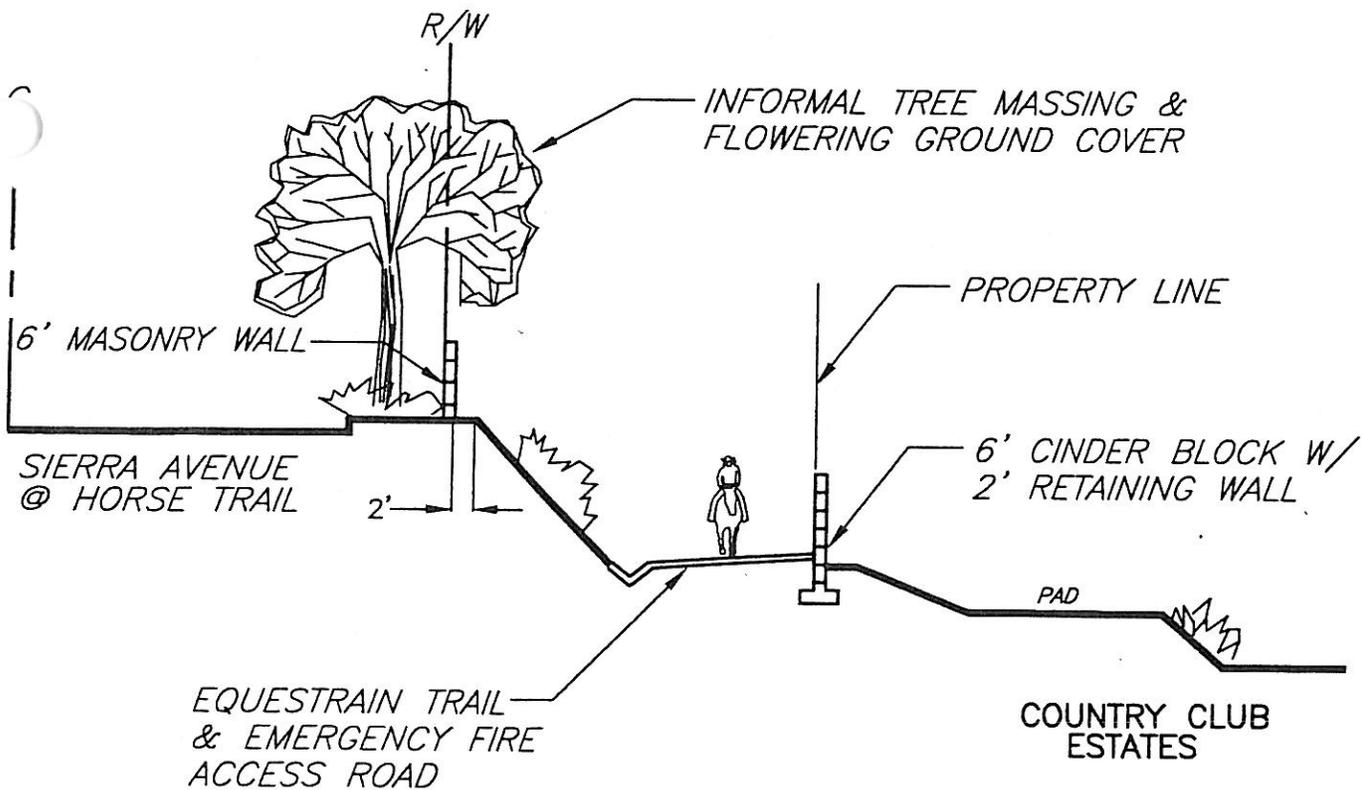
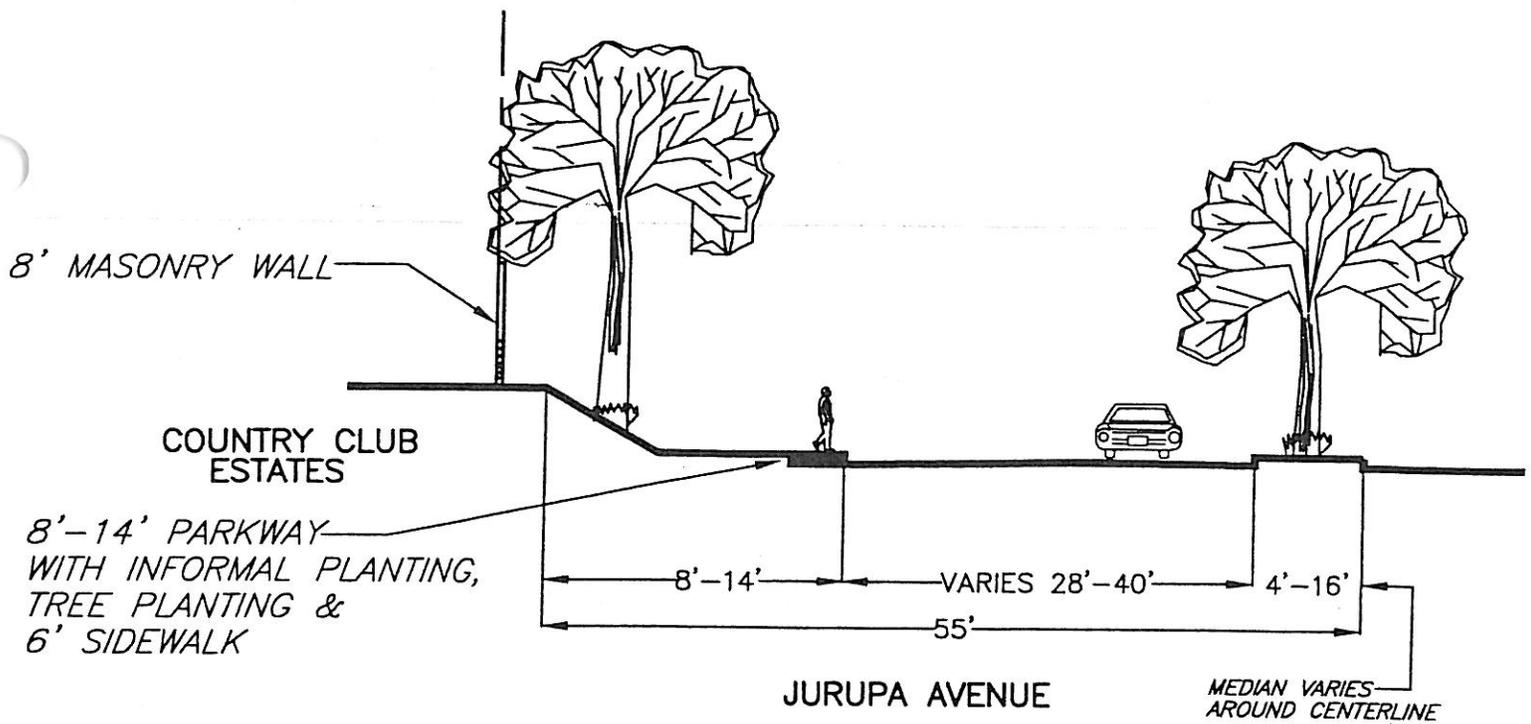
Local: Koelreuteria Paniculata (Goldenrain Tree)
Liquidambar Styraciflua (American Sweetgum)
Pinus Species
Prunus Pissardii (Purple Plum)*

Park Sites: Koelreuteria Paniculata (Goldenrain Tree)
Pinus Species (Pine)*
Prunus Species

* drought tolerant

NOTE: 1. All parkway trees on Sierra Avenue, Jurupa Avenue, the Loop Road and interior streets shall be minimum 15 gallon size. Trees @ project entries and Jurupa/Sierra intersection will be 24 inch box size mixed with smaller trees (15 gallon).

2. Two 15 gallon trees will be planted per residential lot, depending on lot size.

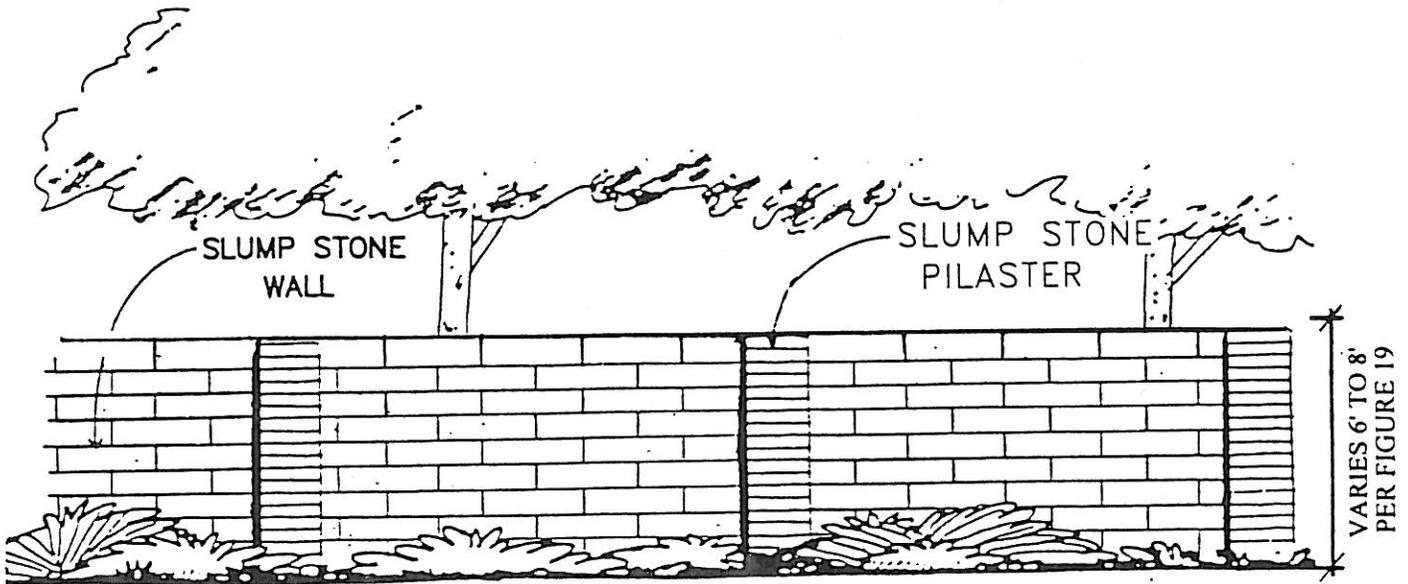


ARTERIAL EDGE TREATMENTS
SOUTH PARK
 CITY OF FONTANA



- e) A six foot double wood rail fence separating all adjacent residential lots. Refer to Figure 21, Residential Lot Fencing.
- f) A side yard wall located at all residential corner lots, screening side yards from public view. Refer to Figure 22, Corner Residential Lot Fencing. Walls shall be located in the rear portion of the side yard area, on corner lot conditions.
- g) All perimeter walls shall be placed so that exterior of block is on the property line. Only the facade shall be maintained by the City. A minimum 6 inch soil cover over foundations will be provided.
- h) A six foot slumpstone masonry wall to buffer all homes whose rear or side yard elevations abut the Loop Road. The wall will be earthtone, with pilasters approximately 40 feet O.C. Refer to Figure 19. Perimeter wall pilasters shall also be approximately 40 feet on center.
- i) Where applicable, Loop Road screen walls shall be located at the top of slopes. Designated slopes shall be incorporated into the Community Facilities District. Exact location to be approved by the Community Development Director.
- j) All masonry walls shall be constructed prior to landscape installation.

WALLS
&
FENCES



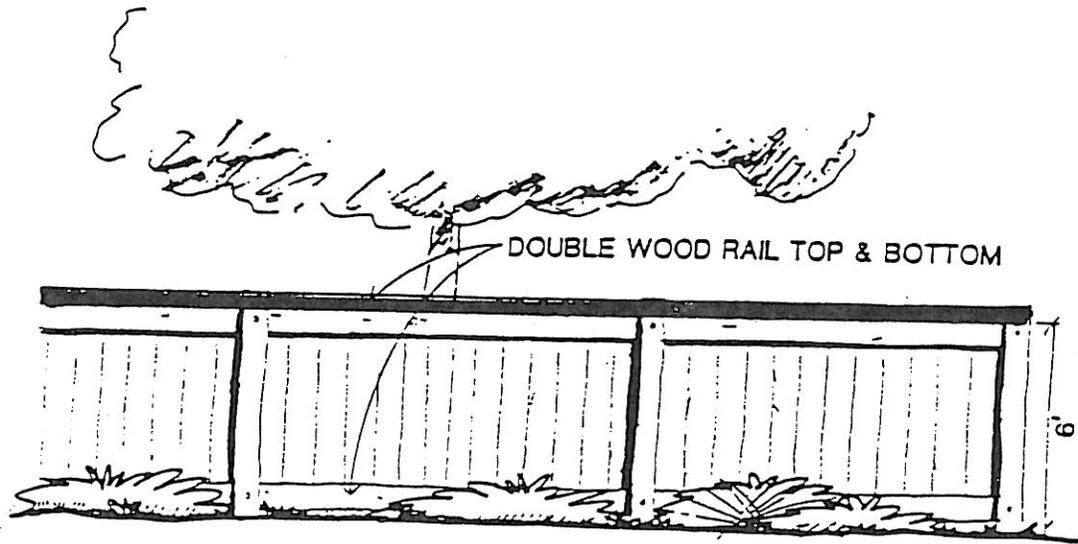
PERIMETER WALL
(SIERRA AVENUE, JURUPA AVENUE)

PROJECT IDENTITY/SOUND ATTENUATION WALL
SOUTH PARK

CITY OF FONTANA

FIGURE 20
EXHIBIT REVISED BY:
adkan
ENGINEERS
NOVEMBER, 1997





WOOD FENCE DESIGN
(CONCEPTUAL)

RESIDENTIAL LOT FENCING
(COMMON PROPERTY LINE)

SOUTH PARK

CITY OF FONTANA

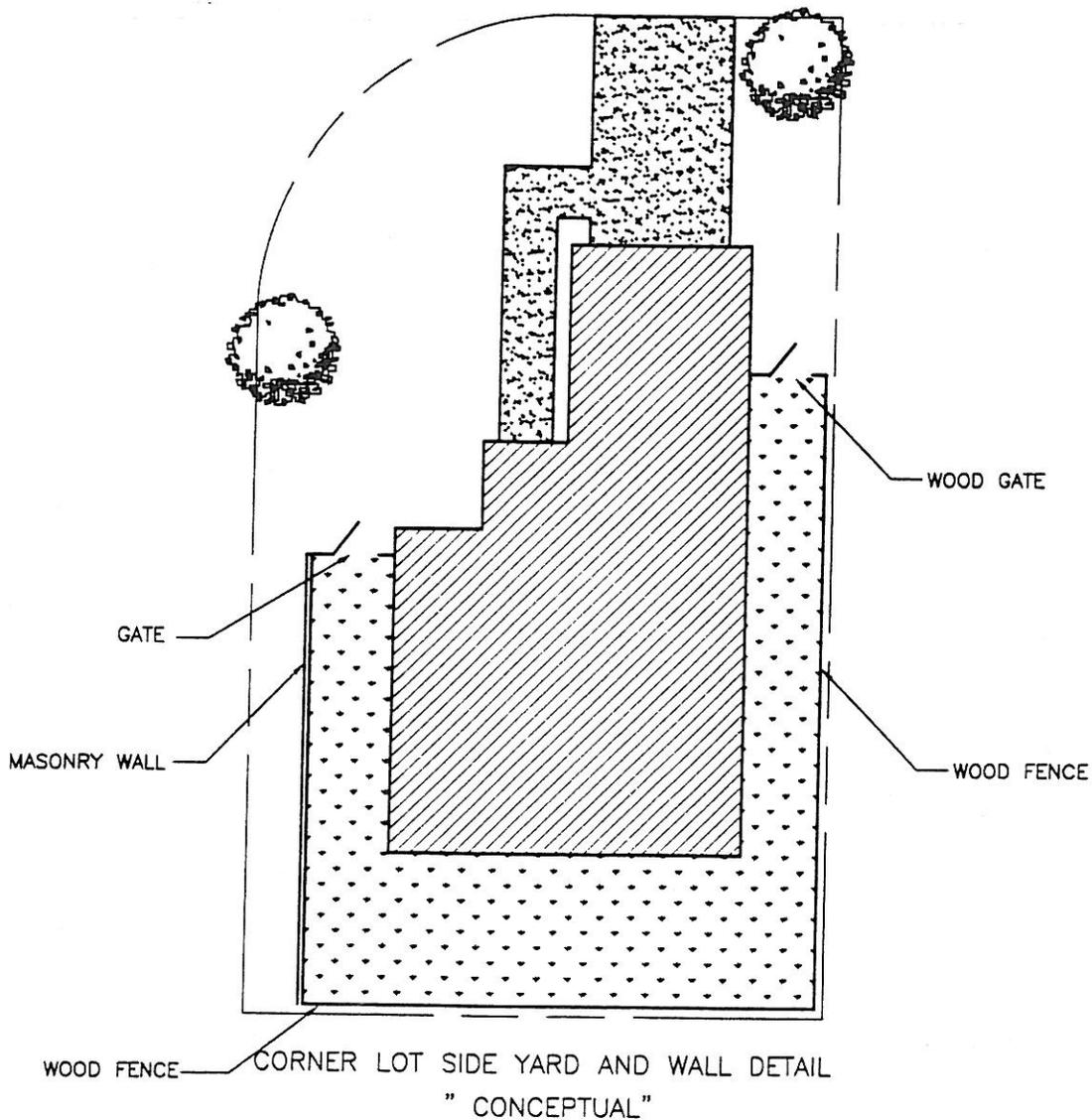


FIGURE 21

EXHIBIT REVISED BY:

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ENGINEERS

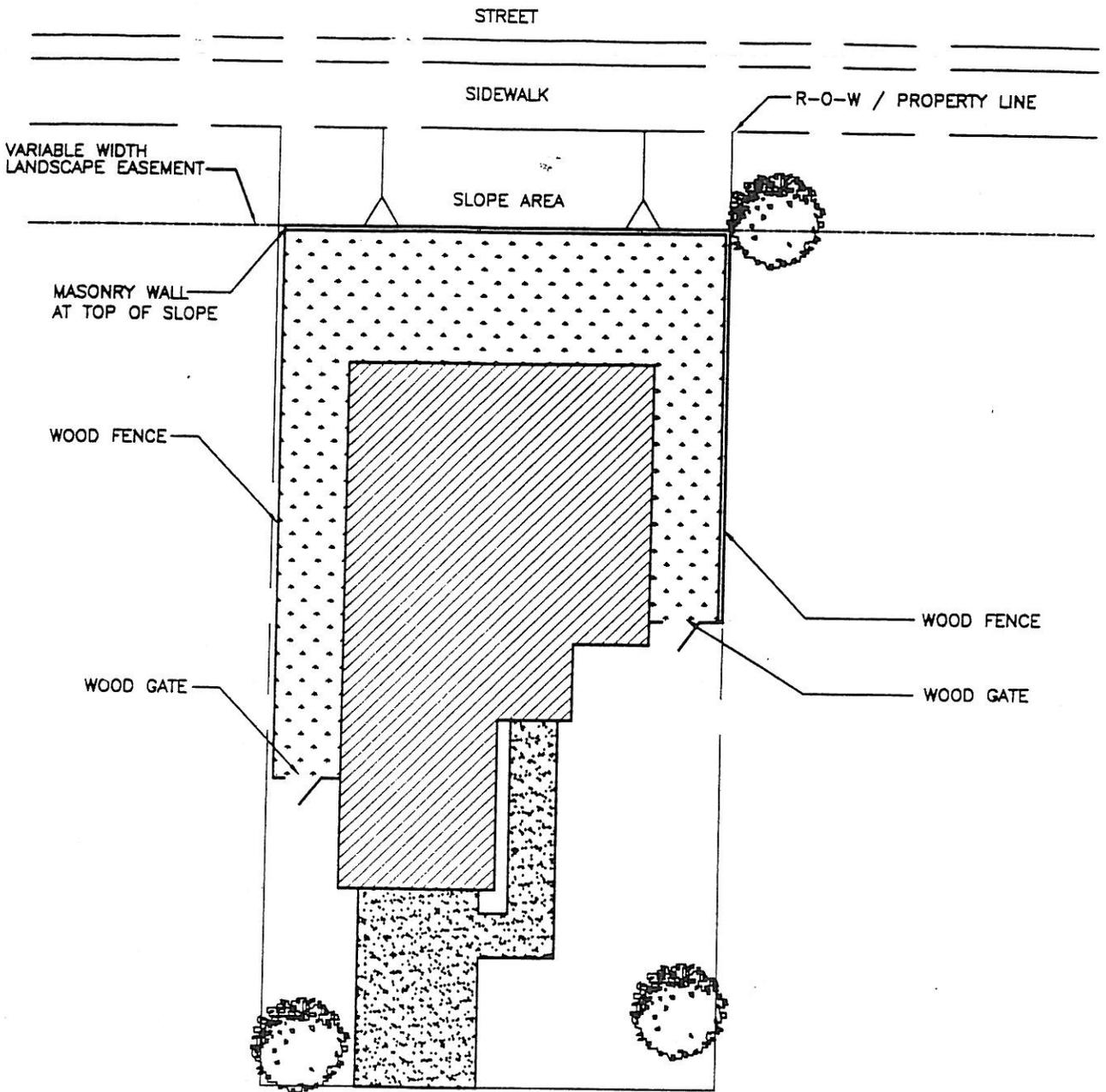
NOVEMBER, 1997



CORNER RESIDENTIAL LOT FENCING AND WALL
SOUTH PARK
 CITY OF FONTANA

FIGURE 22
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997





SIDE/REAR YARD WALL SCREEN WALL PLAN
SOUTH PARK
 CITY OF FONTANA

FIGURE 23
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997



5. Infrastructure/Utilities Concept Plan

The intent of this Master Plan is to provide the framework for the water, sewer, storm drain and utility systems needed to support phased development of South Park.

a. Water System

South Park is served by the West San Bernardino County Water District (WSBCWD). The site is within the District's Pressure Zone 3. There are no service or distribution lines in the immediate project area at this time. The District has 12 inch water lines in Jurupa Avenue which terminates east of Tamarind Avenue and in Santa Ana Avenue which terminates at Palmetto Avenue.

Proposed facilities to serve the water needs of South Park consist of a new 12 inch main to be constructed in Jurupa Avenue and extend into the community in the Loop Road. Additional eight inch lines in local streets will serve individual residences.

b. Sewer System

There are no existing sewers in the South Park site. The site currently has no sewerage requirements; adjacent areas are sewerage by septic tanks.

The South Park site is within the City of Fontana's sewer service area according to the City of Fontana Sewer Master Plan dated October, 1982. The master plan designates the site to be served by a 15 to 18 inch sewer in Jurupa Avenue flowing easterly. The closest accessible sewer is in Jurupa Avenue at Tamarind Avenue, approximately one and a half miles east of the project.

The City of Rialto will provide waste water treatment via an "extra territorial sewer services agreement" between the City of Fontana and the City of Rialto. Collection fees as provided for in said agreement shall be paid to the City of Rialto to service the Southpark Specific Plan area.

Proposed facilities to serve the sewer needs of South Park include a new 15 inch sewer main on Jurupa Road and an 8 inch

sewer main extending north up the Loop Road East and West. Eight inch mains in local streets will serve individual residences.

c) Storm Drain System

South Park storm drain master planning is the joint responsibility of the San Bernardino County Flood Control District and the City of Fontana. There are no existing master planned facilities next to the site or on the site.

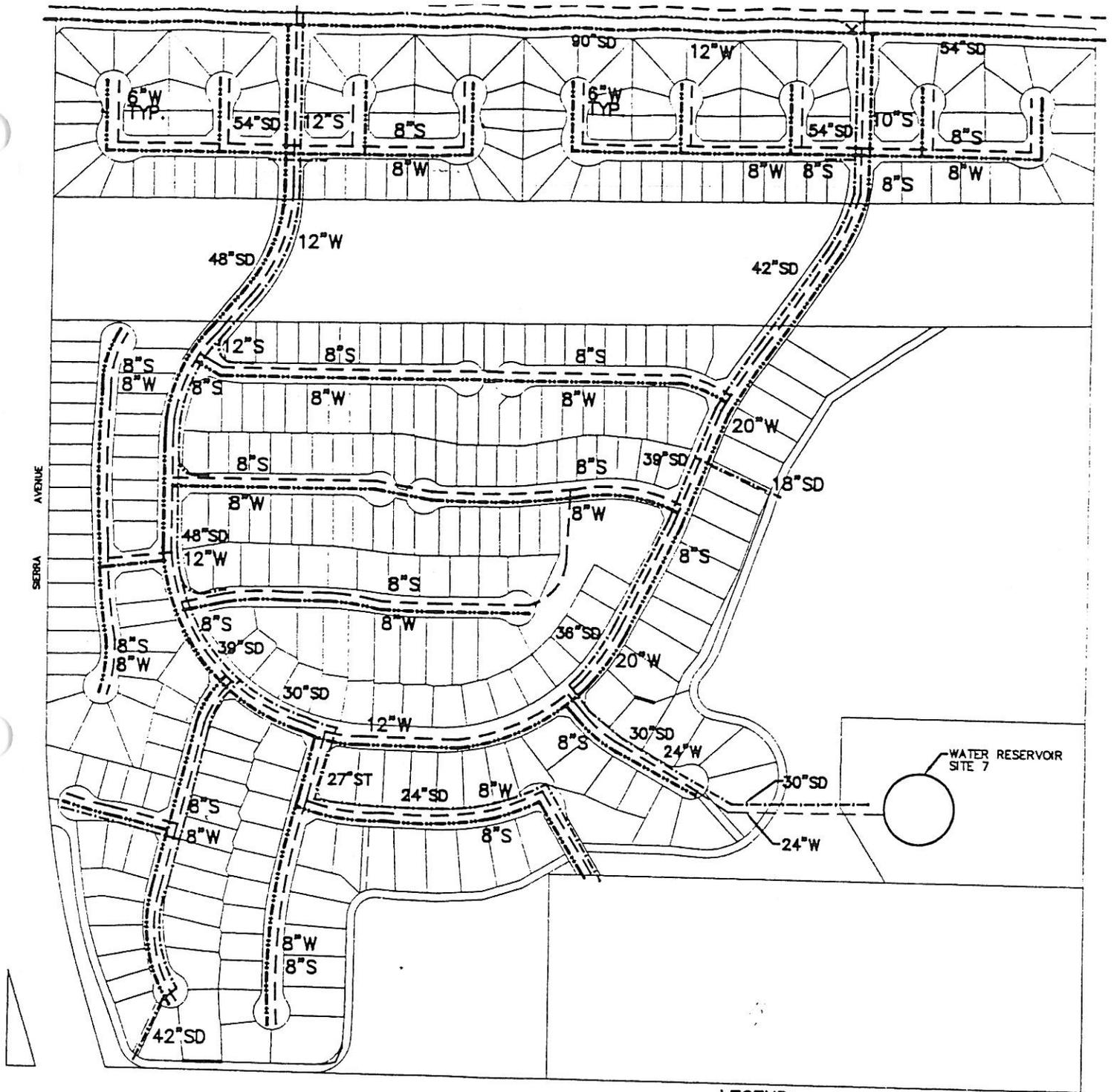
Proposed facilities to serve the site will include a system extending north up Via Larga and Volante Drive collecting run-off from on-site development and off-site run-off from the south.

Refer to Figure 24, Infrastructure/Utilities Master Plan for location and sizes of proposed facilities.

d) Utilities System

Utilities to serve South Park are as follows:

- 1) Natural gas: Southern California Gas Company. A 2 inch medium pressure gas main exists in Sierra Avenue and extends south to Jurupa Avenue, then turns west.
- 2) Electricity: Southern California Edison. The primary access line of 12,000 kv is located on the southwest corner of Jurupa Avenue and Sierra Avenue.
- 3) Solid Waste: Fontana Rubbish Collectors, Inc.
- 4) Telephone: Pacific Bell

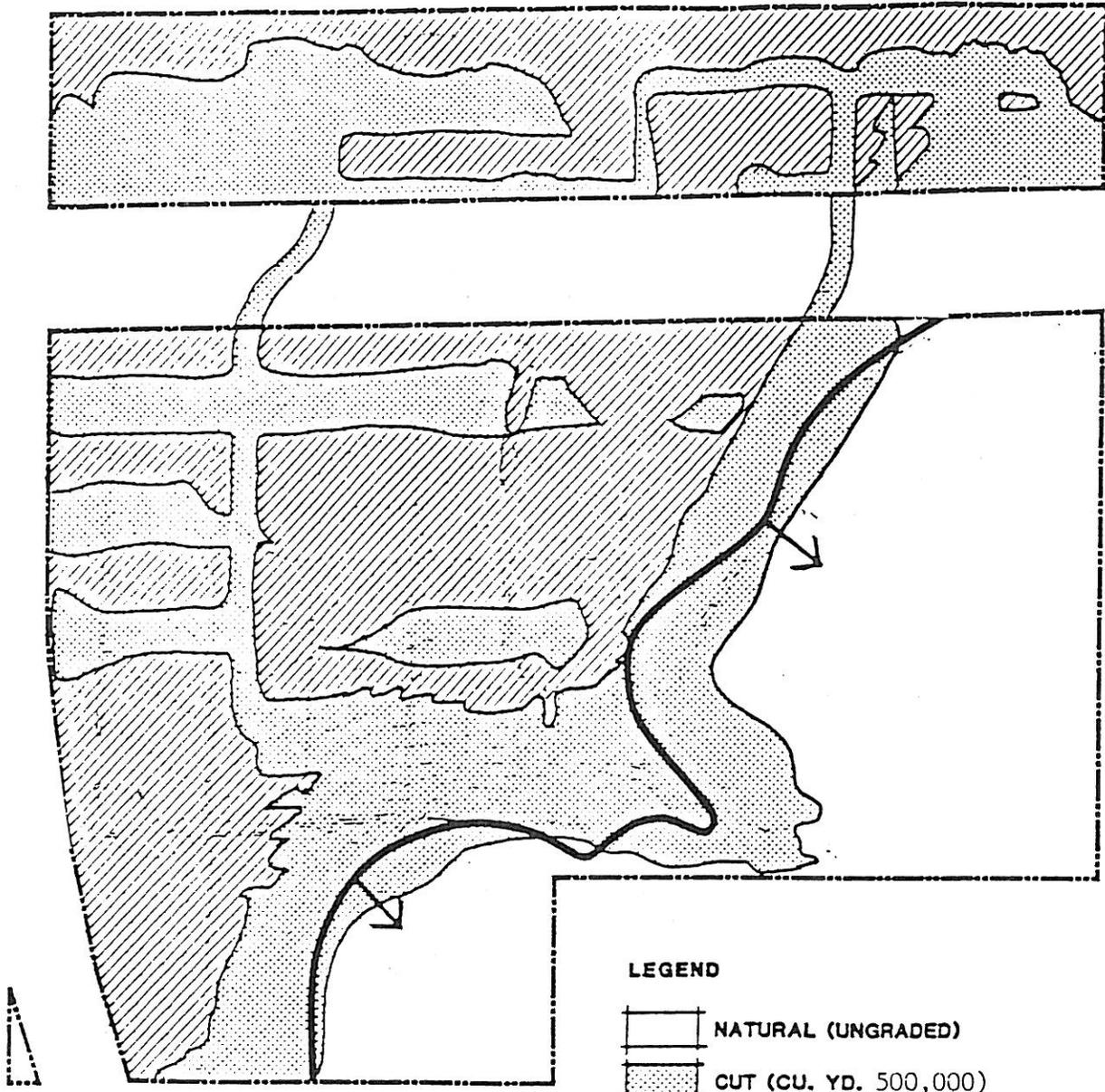


- LEGEND:
-  EXISTING 2" GAS LINE
 -  PROPOSED WATER MAIN
 -  PROPOSED SEWER MAIN
 -  PROPOSED STORM DRAIN

INFRASTRUCTURE MASTER PLAN
SOUTH PARK
 CITY OF FONTANA



FIGURE 24
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997



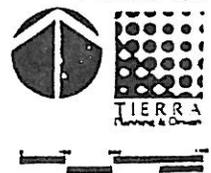
- LEGEND**
-  NATURAL (UNGRADED)
 -  CUT (CU. YD. 500,000)
 -  FILL (CU. YD. 400,000)
 -  GENERAL AREAS OF BEDROCK

NOTE: THIS CONCEPTUAL DESIGN IS SUBJECT TO REFINEMENT DURING THE FINAL MAP AND FINAL GRADING DESIGN PROCESS

GRADING CONCEPT SOUTH PARK

CITY OF FONTANA

FIGURE 25



5) Comcast Television

6. Grading Concept Plan

Figure 25 illustrates the conceptual grading concept for South Park. Approximately 500,000 cubic yards of cut and 400,000 cubic yards of fill will be required on site. Areas of deep bedrock are also indicated. These areas could not be graded below shallow depths without severe earthmoving procedures.

Figure 26 provides a key map for several cross-sections through the site, which follow. These sections intend to illustrate the grading plan for South Park and the cross-sectional relationship between building sites, slopes, streets, parks and undeveloped open space.

All manufactured slopes 5 feet and greater will be landscaped and irrigated, per City standards. Where backyard slopes are mostly rock, hydroseeding of slope along the southerly portion of the property will be permitted as determined by the Community Development Director. Where native vegetation is disturbed in transition areas to open space, hydroseeding will be provided.

7. Community Facilities/Services Plan

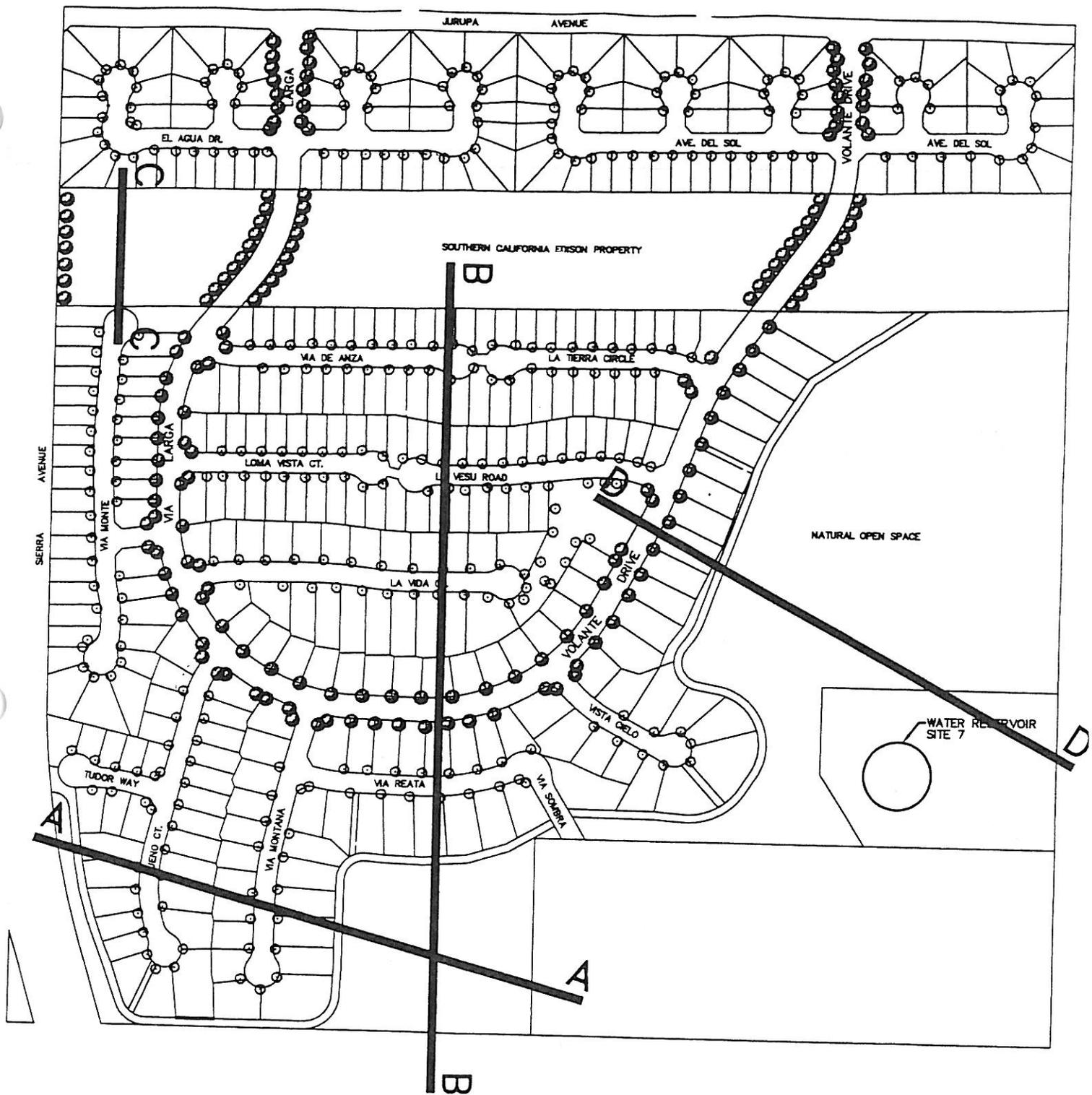
The following Community Facilities/Services Master Plan discussion will address facilities for schools, police service, and fire service.

a. School Facilities

The project is located within the Colton Joint Unified School District. All of the projects to the east of Sierra Avenue are located within this School District; projects located to the west of Sierra Avenue fall within the Fontana Unified School District.

The Colton Joint Unified School District is impacted at this time and has an enrollment in excess of the designed capacity. The Colton Joint Unified School District, however, now collects State mandated fees, and it is expected that these fees will be sufficient to offset the student load created by the development within the Specific Plan.

Based upon data developed by Fontana Unified School



SIGHT SECTION KEY MAP
SOUTH PARK
 CITY OF FONTANA



FIGURE 26A
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997

District and supported by Colton Joint Unified School District, the following estimates of student generation were developed:

STUDENT GENERATION			
Education Level	Generation Rate	No. of Units	No. of Students
Elementary (K-6)	.40	366	146.4
Junior High (7-8)	.11	366	40.26
High School (9-12)	.22	366	80.52
Total Student Generation =			267.18

The impact of the additional 268 students will be added incrementally over this time. Since the School District is currently exceeding the design capacity, these students will require the addition of more schools, busing to other schools or, portable classrooms. It is expected that the implementation of Builder's Fees currently being assessed by the School District should mitigate the financial impact.

b. Police Service

The City of Fontana Police Department provides police protection for the project. The police station serving this area is a Contact Police Station located at Tamarind and Slover Avenues

It is projected that 1.4 additional sworn officers and .6 non-sworn clerical assistance will be necessary to service South Park. However, police service will be evaluated at each phase of development to determine the level of additional personnel, facilities and equipment necessary for adequate police protection. Project residents and developers will share proportionately in the funding necessary via general levy property taxes, with property tax dollars contributing to the general fund as the project builds out.

c. Fire Service

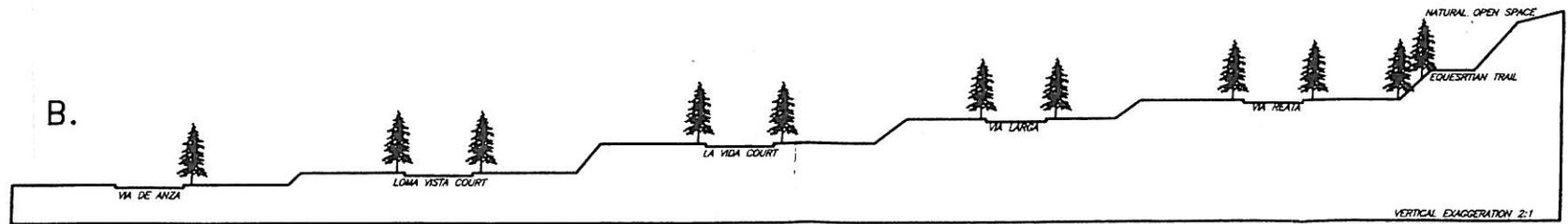
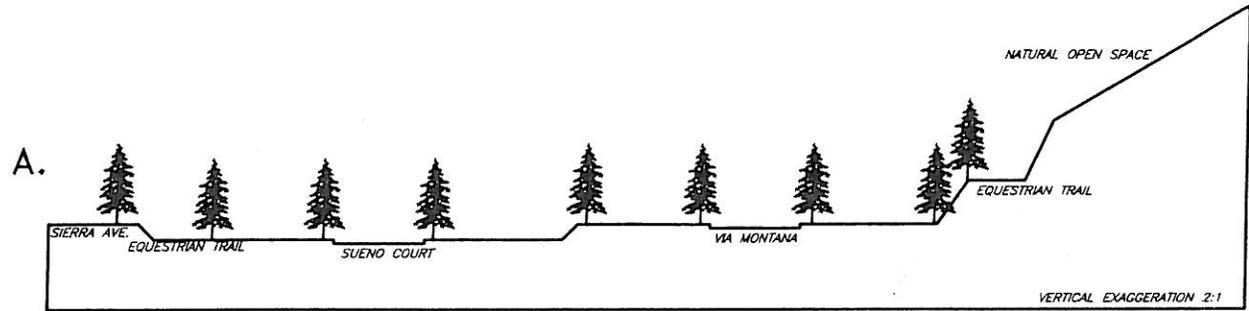
The project site lies within the Central Valley Fire Protection District jurisdiction. The District currently provides coverage to the project from two stations in central Fontana and one station in southwest Fontana. The stations are located within three to four miles of the site with an estimated response time of six to nine minutes.

Due to increased residential and commercial development in the area, the Fire District considers their ability to provide fire protection to the southeast Fontana to be marginal. The cumulative impacts of this project and other existing and proposed development in the vicinity has created a need for Fire Station #77, which has been built and serves the general area.

8. Phasing Concept Plan

Phasing for South Park is illustrated in Figure 27. Phasing will generally begin adjacent to Jurupa Avenue in the northern portion of the project.

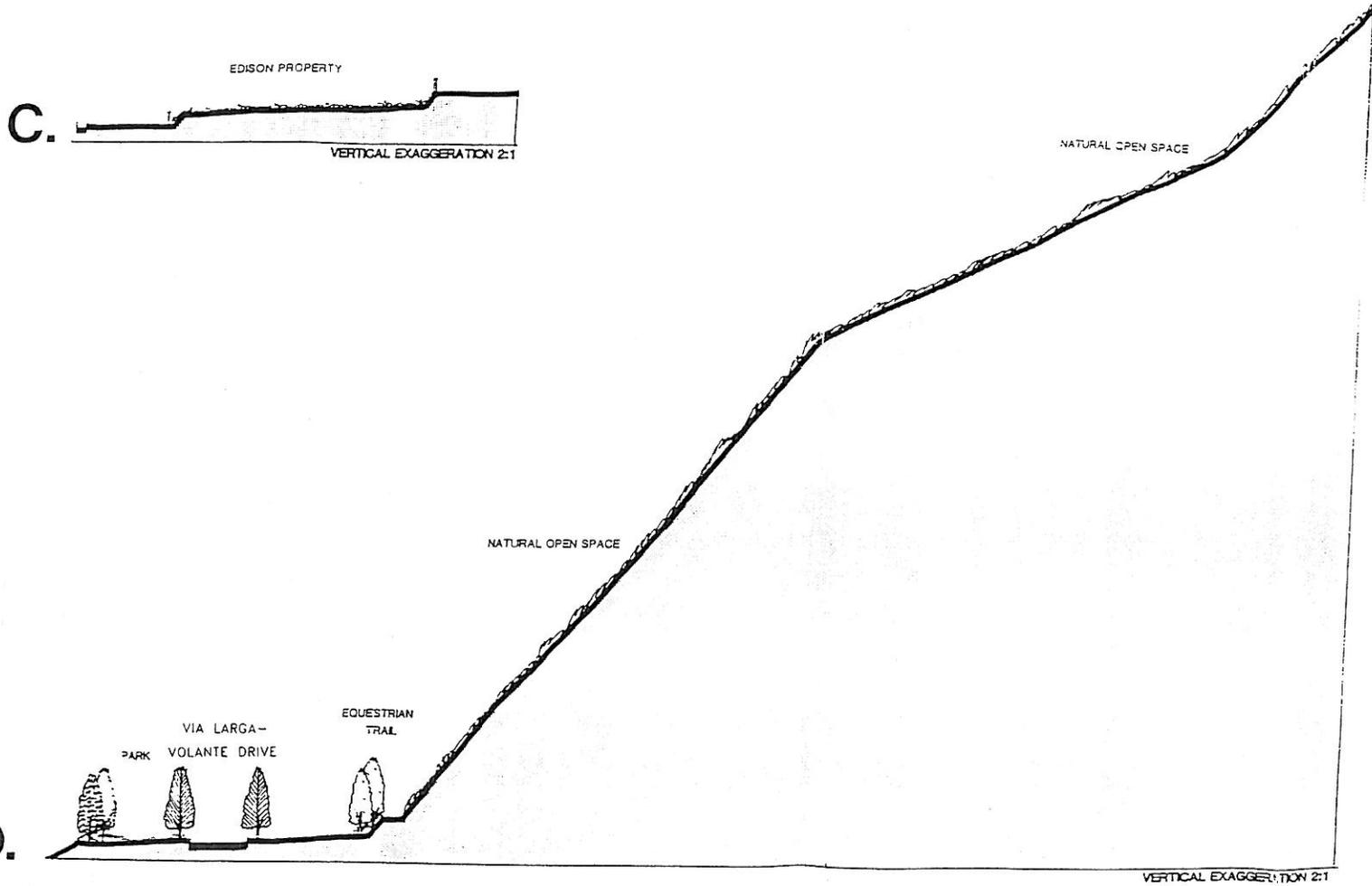
Phasing will be accomplished in three phases over a 5 year period. Approximately 75-80 units will be developed neighborhood, between Jurupa and the S.C.E. property. Phase



SITE SECTIONS
SOUTH PARK
CITY OF FONTANA

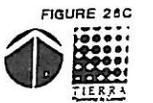
FIGURE 26B
EXHIBIT REVISED BY:
adkar
ENGINEER
NOVEMBER, 1997

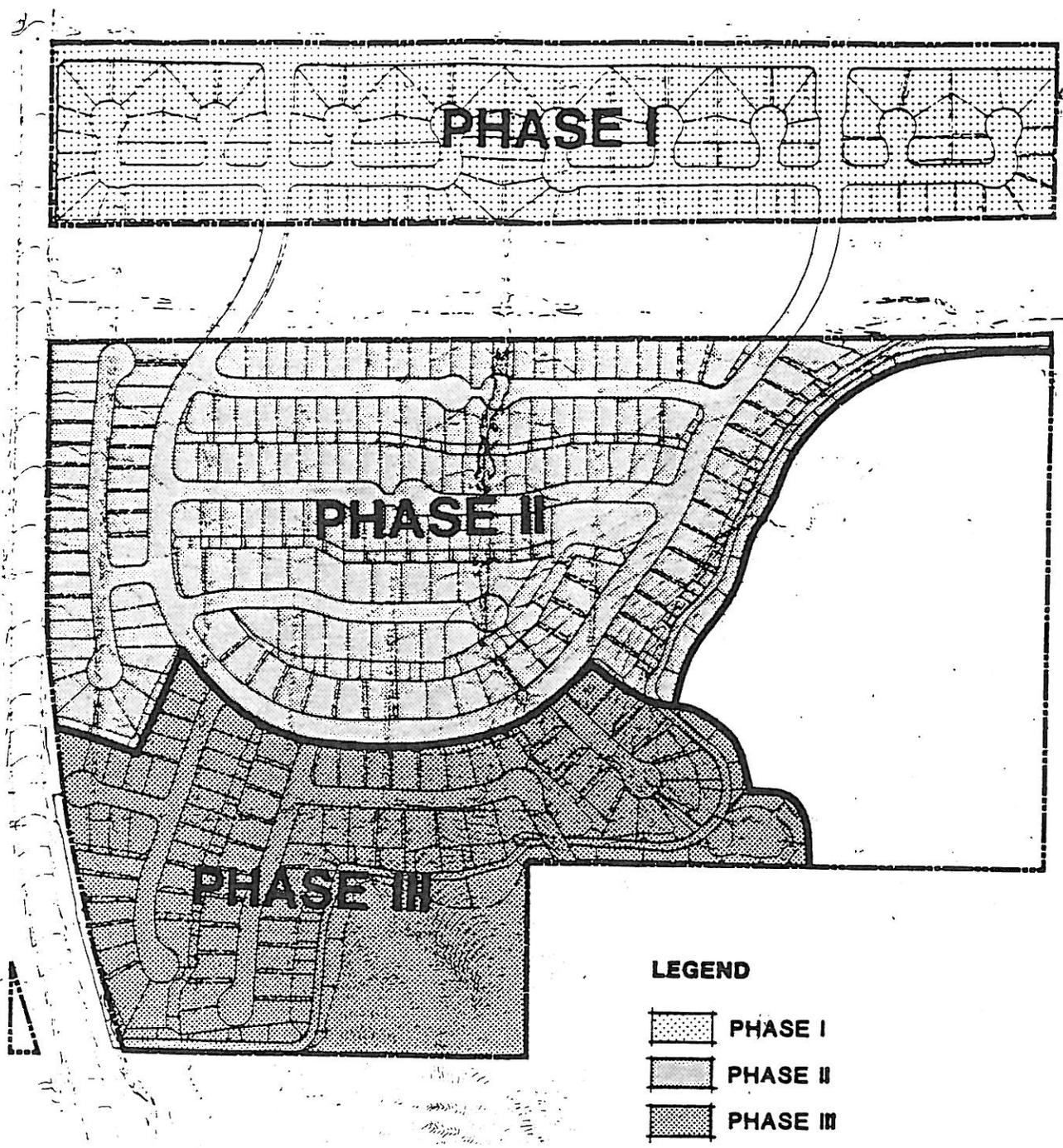




**SITE SECTIONS
SOUTH PARK**

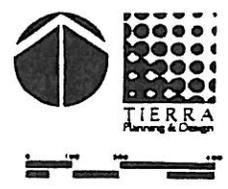
CITY OF FONTANA

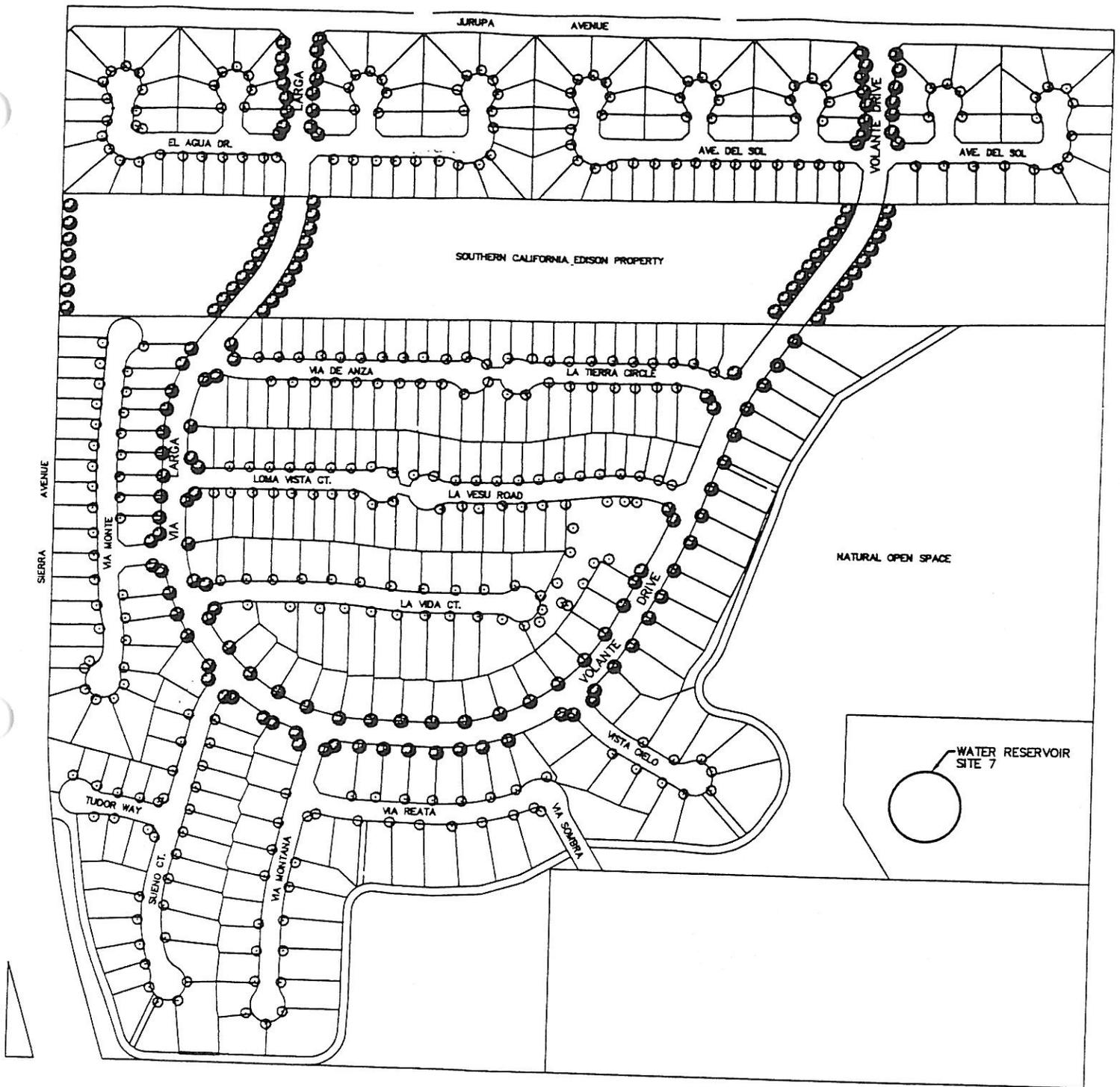




PHASING CONCEPT PLAN
SOUTH PARK
 FIRST CITY PROPERTIES, INC.
 CITY OF FONTANA

FIGURE 27

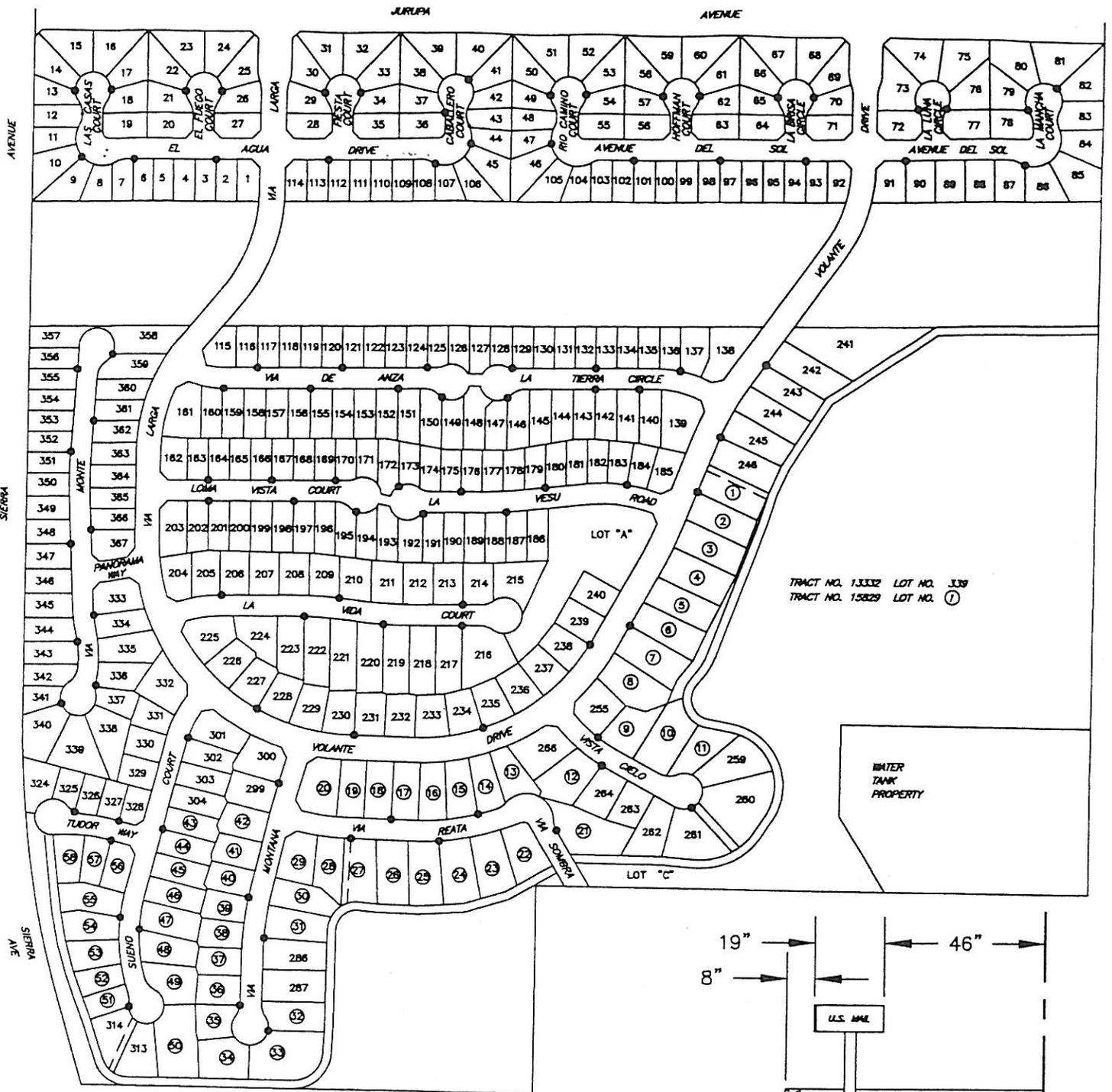




ILLUSTRATIVE SITE PLAN
SOUTH PARK
 CITY OF FONTANA



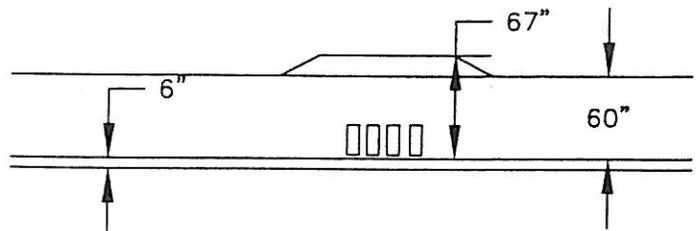
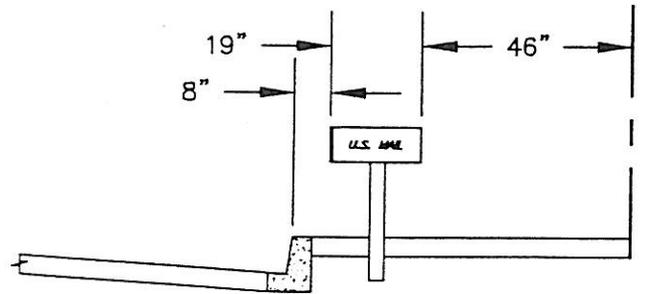
FIGURE 28
 EXHIBIT REVISED BY:
adkan
ENGINEERS
 NOVEMBER, 1997



TRACT NO. 13332 LOT NO. 339
TRACT NO. 15829 LOT NO. ①

WATER
TANK
PROPERTY

MAILBOX POST LOCATIONS—●



MAIL BOX LOCATIONS
SOUTH PARK
CITY OF FONTANA



FIGURE 29
EXHIBIT REVISED BY:
adkan
ENGINEERS
MARCH, 1998

II includes the residential area included within the Loop road, south of the S.C.E. property, and residential areas directly east and west of the Loop Road. Phase III includes all residential units directly south of the Loop Road at its highest elevation. However, due to market demand, the applicant may build out the project all at one time.

9. Illustrative Site Plan

Figure 28, Illustrative Site Plan, provides a graphic illustration of the proposed project, highlighting landscaping, open space, circulation, and residential lots.

4.0 Specific Plan Implementation

IV. SPECIFIC PLAN IMPLEMENTATION

A. Introduction

The purpose of this Chapter is to provide regulations for the future development and review of projects within the South Park Specific Plan.

A major goal of the City's general plan and specific plan effort is the development of land use plans designed for maximum flexibility, supported by regulatory controls ideally suited for the project area under consideration.

The provisions contained in this Chapter are minimum regulations and shall serve as such. These provisions are subject to amplification and modification through the amendment provisions provided for in Chapter 30 of the City Code.

B. Statistical Summary

The land use allocations, including net acres, lot distribution, net densities and dwelling unit yield, have been determined for each planning area in South Park in Table C, Statistical Summary for the Land Use Master Plan. Table D, Statistical Summary for Residential Development, includes net acreage, percentage of total residential acres, total dwelling units and percentage of total dwelling units for all residential planning areas.

To ensure an orderly and well-balanced community, the gross acreage of South Park shall be developed within the allocations listed in the Statistical Summary which follows. The acreage indicated is rounded to the nearest tenth of the number and provided as guidelines. Modifications in acreages and shapes which occur during technical refinements in the tentative map process shall not require an amendment to the Specific Plan.

C. General Information

This section provides general provisions related to a specific community. The purpose of this section is provide a format and discussion on acceptable levels of control for service utility items within the planned community.

TABLE C
STATISTICAL SUMMARY
LAND USE MASTER PLAN

RESIDENTIAL

Planning Area	R-1-5000-7199	R-1-7200-9999	R-1-10,000-and Greater	Total D.U.	Net Acres	Net Density	Roads
A	183	94	29	306	48.3	6.3	13.9
B	4	21	35	60	15.0	4.0	1.9
Subtotal	187	115	64	366	63.3	----	15.8

NON-RESIDENTIAL

PLANNING AREA		NET ACRES
C	Parks	1.3
D	Open Space/Trails	31.7
	Roadways	21.7
Subtotal		54.7
Grand Total	366	118

TABLE D
STATISTICAL SUMMARY
RESIDENTIAL DEVELOPMENT

Master Plan Designation	Density Designation	Total D.U. Each Designation	Total Net Residential Acres	% of Total Residential Acres	Total D.U.	% of Total D.U.
A	R-1-5,000	183	48.3	76%	306	76%
	R-1-7,200	94				
	R-1-10,000 and greater	29				
B	R-1-5,000	4	15.0	24%	60	24%
	R-1-7,200	21				
	R-1-10,000 and greater	35				
Total		366	63.3	100%	366	100%

Each Plan shall contain the following provisions:

1. Grading

Grading will be permitted within areas having approved site plans, after securing a grading permit.

2. Water

Service and facilities within the planned community shall be furnished by the West San Bernardino County water District and shall be consistent with the concept plan for such infrastructure in said plan.

3. Sewage Treatment

Facilities for the planned community shall be provided by City of Rialto through the payment of Facility Expansion fees at the time of development.

4. Sewer Line

The sewage mainline for the community shall be owned and maintained by the City. Installation of the on-site and required off-site sewer lines shall be provided by the developer.

5. Storm Drain

The plan lies within the boundaries of the San Bernardino County Master Plan of Storm Drains. The plan is presently administered by the County and the City of Fontana. Developers of this planned community shall be required to participate in this master plan or an approved permanent/interim storm water control plan. Said participation shall include the construction and dedication of necessary improvements identified. Such plans shall be done in a manner meeting the approval of the City Engineer.

6. Schools

Development, dedication and phasing of elementary, junior high and high school rooms shall be implemented through payment of State fees by the developer. The developer shall be responsible to provide the city and school district with an accurate accounting of the residential units constructed, under construction, or approved in the planned community with each site plan and tentative tract map submitted, in order that the total maximum number of units allowed by ordinance for the subject area is not

exceeded.

Prior to the recording of any Tract Map or Parcel Map within the South Park Specific Plan area, the developer shall prepare a Capital Schools Financing Plan which shall provide for the construction of all school facilities' required by the project. The School Financing Plan shall be approved by the City Council and School District. The Plan shall include, but not be limited to, one or more of the following funding mechanisms:

1. Payment of School Impact Fees
 2. State Funding and/or
 3. Establishment of a Mellow-Roos Community Facilities District for schools
 4. Agreement with Developer.
7. Streets

The plan includes a master circulation plan which includes the local and arterial streets and access points required for development of the specific plan. Prior to any discretionary act by the City regarding the area planned, the Public Works Director shall certify that appropriate action has been taken insuring the provision of adequate street facilities.

8. Neighborhood Park/Equestrian Trail Open Space

The South Park Neighborhood Park and Equestrian Trail Open Space shall be fully dedicated. The Neighborhood Park shall be landscaped. Park maintenance will be provided by the through a Community Facilities District.

The parks will be designed and developed in accordance with criteria established by the Parks and Recreation Department. Safety standards shall be in accordance with standards established by the Fontana Police Department and the Fire Protection District.

D. General Notes

1. Geologic Hazards

Prior to the approval of any tract map, detailed geologic investigation reports shall determine if geologic hazards exist. If such hazards exist, uses may be limited or conditions may be applied to mitigate the possible effects of any geologic hazards.

2. Aesthetic and Energy Conservation

The applicant shall demonstrate how measures for non-mechanical ventilation of structures, optimum building orientation to maximize solar orientation, and other energy conservation measures shall be incorporated into the project design.

3. Safety Services

The builder shall consult with the crime prevention unit of the Police Department and a fire protection analyst of the Central Valley Fire District.

4. Density Computation

Calculated for determining densities designated residential use. Computation shall be based on net acreage.

5. Model Homes

Model homes and their garages and private recreation facilities may be used as offices for the sale of homes within a recorded tract and subsequent similar tracts utilizing these same architectural designs subject to the regulations of the City of Fontana governing said uses and activities. The garages shall be reconverted to usable 2-car garages prior to sale of the model homes.

6. Conflicting Regulations - Chapter 30

Whenever the regulations contained herein conflict with the regulations of Chapter 30 of the City of Fontana Zoning Ordinance, the regulations contained herein shall take precedence.

E. Definitions

All definitions that apply to this plan shall be found in Chapter 30, Article 1, Section 30-1 of the City Municipal Code.

F. Development Guidelines

1. General Provisions

a. Building Setback from Streets

- 1) **Front Yards** - The minimum setbacks outlines in this section shall apply to main structures fronting on streets. Said Setbacks shall be measured from the ultimate right-of-way line:

<u>Street</u>	<u>Minimum R.O.W. Setback</u>
Loop Road	17.5
Streets/Cul-de-Sacs	17.5

- 2) **Side-Yard Setbacks** - Side yard setbacks will be as outlined in guidelines for individual lot types.

b. **Fences, Hedges and Walls**

Fences and/or walls on sideyards within the development shall be limited to a maximum height of six (6) feet and a minimum height of five (5) feet. Height of fences proposed within residential front yard setback areas shall not exceed 42 inches. Fences and walls greater than 42 inches in height shall be set back from the front property line, a distance equal to the dwelling or garage, setback, or a minimum of 15 feet, whichever is greater.

c. **Parking**

Parking criteria, and off-street traffic flow will be governed by the City code and these guidelines (whichever is more restrictive).

- 1) Use of required front yard area for off-street parking or vehicle storage is not allowed.
- 2) Recreational vehicles are to be stored out of public view in the side or rear yard of residential lots. Upon adequate side yard provision in the site plan (at least a 15 (fifteen) foot side yard setback), recreational vehicle parking will be allowed. Recreational vehicles shall be screened from public view by use of an approved wall, fence, hedge, or combination thereof, to a height of six feet. Grading should be used to further reduce visual impacts. Wood gates will be used to visually screen this area from public view or as approved by the Community Development Director.

Recreational vehicles are not allowed to be stored in the front yard of any residential lot.

d. Building Style

The architectural style for South Park should not mimic or be an image of another place or time (Old West, Classic Revival, Colonial Cape Cod, Spanish Mission, Oriental, etc.). It should be based on the identity of South Park and its natural environment. There is not one particular "style" for South Park, but rather an upscale image that is developed and will be maintained. The upscale image could be described as Quality, Suburban Contemporary.

It is intended that this style promote a variety of architectural styles responsible to the Land Use regulations and design-guidelines herein.

The maintenance of that upscale image is of primary importance to protect and promote South Park's identity.

- 1) Every building will have elevational relief. Offset, popouts, overhangs and recesses, all may be used to produce effective shadow interest areas. Larger buildings require more shadow relief than do smaller buildings. Larger unbroken expanses of wall should usually be avoided.
- 2) Complex rectangular plans and variations of rectangular plans will assure compatibility and variation. Variety and interest can be developed with rectangular plans by varying dimensions and positions of structures.
- 3) Long buildings with straight unbroken facades shall be avoided by strategically placing offset in the plan.
- 4) Simple stereotypical units arranged in a regimented fashion along front yard setbacks which produce monotonous elevations shall be avoided.
- 5) Providing variety along streets with differing setbacks and combinations of different prototypes fosters a variety of elevations.

e. Roof Materials

1. Roof material shall be comprised of standard mission barrel or flat clay or concrete tiles. A material of similar texture, color

consistency, durability and fire retardant qualities may be used. Each tile shall be a uniform color and non-reflective (unglazed) for a soft finish look. Plastic and asphalt tiles shall not be permitted.

2. Secondary (non-street facing) roofs may utilize tiles of clay or concrete. A random application of tiles is preferred to a symmetrical design. Tiles at the ends of the eaves shall be double or triple layered with exposed rusticated mortar to emphasize thickness.
3. The use of asphalt or woodshake is prohibited.
4. Solar panels are to be flushed with the roof slope and screened from view.

f. Public Facilities and Utilities - Utilities and Exterior Equipment

- 1) All exterior on-site utilities including, but not limited to, drainage systems, sewers, gas lines, water lines, and electrical, telephone, and underground communications and cable t.v. wires and equipment shall be installed and maintained underground.
- 2) On-site underground utilities shall be designed and installed to minimize the disruption of off-site utilities, paving and landscape during construction and maintenance and shall not place excessive burdens upon off-site utility systems during use.
- 3) Antennas shall be in compliance with Chapter 32 of the Municipal Code.
- ~~4) Roof mounted equipment is prohibited.~~

g. Mailboxes

- 1) Single-family mailboxes shall be clustered in or on wall, wood or pilaster structures in accordance with UPA regulations.
- 2) Single-family mailboxes should be grouped in two's at shared property lines. For long streets, mailboxes should be clustered in two's as a minimum at shared property lines. They may be black or metal or wood. Mailboxes shall be located and constructed to meet ADA requirements.

- 3) In cul-de-sacs, mailboxes may be grouped in a cluster in eight (8) in a centrally located island to serve dwellings fronting on the cul-de-sac "bulb" in a manner that allows for driver side pick-up.
 - 4) Mailboxes and their standards shall be uniform in design, shape, size, color and addresses identification.
 - 5) Exposed silver metal poles and mailboxes are prohibited.
- h. Ancillary Buildings
- 1) Storage sheds, gazebos and other accessory structures will be allowed after review of plans by the Planning Division per the City Code.. A permit is required and structural design shall be approved by the Planning and Building and Safety Divisions.
- i. Trash Receptacles
- 1) Trash receptacle areas shall be located in side yards or in utility yards. They shall be screened by an approved non-combustible enclosure or landscaping and concealed from view of adjoining lots. Receptacles shall not be placed along street rights-of-way except for collection day unless the method of screening and concealment from view is approved by the Planning Division Staff.
 - 2) "Optional trash compactors may be offered by all developers".
- j. Bollards
- 1) The purpose of devices, such as: pipegates, bollards, gates and fencing is to physically separate pedestrians, equestrians and vehicles in high traffic areas, to safeguard children and adults, as well as to protect street furnishings or other elements of the streetscape. These guidelines apply to entrance devices utilized in the streetscape or in areas visible by passing motorists and pedestrians. The required devices shall be subject to final approval by the City Engineer.
 - 2) Regulation - Any bollards placed adjacent to public streets should meet placement and design conventions of regulatory agencies.

- 3) Material - The bollards should be constructed of concrete or masonry with a smooth stucco finish, or other quality material that is compatible with adjacent walls.

k. Paving

- 1) Patterned pavement and special paving materials may be used in limited areas to emphasize entries and places of special interest. Utility wire lines and pipelines shall not be installed under such special materials. The following places requiring this emphasis are as follows: Community Entries, Major Intersections, Neighborhood Entries, Residential Driveway, Cul-de-sac Courts, Trail/Road crossings, Curb Detailing, Private Walks, and Bus Stops.
- 2) Acceptable Paving Materials for use in Limited Areas: Integrated Color Concrete (earth tones), Decomposed Granite, Brick Asphalt, natural color Concrete, Native Stone, Precast Pavers, Cobbles, and Approved combinations of above.

1) Lighting Guidelines

- 1) Street Lighting - Streets and intersections will be well lighted in accordance with City standard illumination levels. The maximum height of street lights with the exception of safety lights at intersections, should be approximately 25 feet. Intersections might have increased wattage for definition and to alleviate automobile/pedestrian conflicts. The effect would be one of varying-size pools of light.
- 2) Low "pedestrian" level lighting will be installed within the equestrian trail/tunnel under Sierra Avenue.
- 3) Illumination Guidelines:
 - a) Building or roof outline tube lighting are subject to Planning Commission approval.
 - b) Use of luminescent or reflective wall surfaces is unacceptable, unless approved by the Planning Commission.
 - c) Building or wall lighting shall be indirect. A limited number

of lights may be used to create shadow, relief or outline effects when such lighting is concealed or indirect.

- d) Concealed light sources are recommended to avoid glare.
- e) The lighting system shall be architecturally compatible with the surrounding building and express the unique character of the area. Do not use neon, mercury vapor, exposed fluorescent, or exposed high intensity lights, unless given approval by the Planning Commission.
- f) Building and landscape accent uplighting is encouraged.
- g) House numerals shall be a minimum of four (4) inches in height mounted on a contrasting background clearly visible from the street. During hours of darkness house numbers shall be illuminated.

PLANNING
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A, B
R-1
10,000

m. Rear and Side Yard Setback

- 1) Patios will be permitted in rear and side yards where the appropriate yard is sufficient to provide the required setback. Two story decks will be permitted in the rear yard but in no case will the upper story be closer than ten (10) feet from the rear yard property line.

n. Sound Attenuation Walls

- 2) Maximum use of appropriate hardscape/softscape and construction materials will be integrated to meet desired decibel levels outlined in the Environmental Impact Report.

PATIO

2. R-1-10,000 (Planning Areas A and B)

a. Permitted Uses

- 1) Single-family dwellings, detached.
- 2) Accessory buildings, structures and uses where related and incidental to a permitted use.
- 3) Utility and service facilities as required to implement the plan.

b. Uses permitted subject to a Conditional Use Permit

- 1) Pre-school and day care facilities, or as per City Code.

c. Lot Area Requirement

- 1) Building Site Area

The minimum net lot for each dwelling unit shall be 10,000 square feet.

- 2) Building Site Coverage

The maximum building site coverage shall be 50% of the net area of the site.

d. Minimum Dwelling Unit Size

The minimum dwelling size shall be 1,500 square feet.

e. Building Height

Maximum height for all buildings shall be two and one-half (2 1/2) stories, not to exceed thirty-five (35) feet.

f. Building Setbacks

- 1) Front Yard: The distance from the front property line to:

- (a) The dwelling unit shall be a minimum of seventeen and a half (17.5) feet.

- (b) A front-on garage shall be a minimum of seventeen and a half (17.5) feet.

- (c) Roll-up garage doors shall be provided.

- 2) Side Yard: The minimum distance from the sideyard property line to the dwelling shall be eight (8) feet on both sides of the property.

- 3) Rear Yard: The distance from the rear property line to the dwelling shall be a minimum of twenty (20) feet.

- a) The minimum setback from rear yard property line for patio covers shall be ten (10) feet, measured from the patio cover post. A patio cover may-overhang one (1) foot into the required rear yard setback.

4. Corner Lots: Side yards on corner lots shall be a minimum of ten (10) feet.

3. R-1-7,200 (Planning Areas A and B)

a) Permitted Uses

- 1) Single-family dwellings, attached or detached.
- 2) Accessory buildings, structures and uses where related and incidental to a permitted use.
- 3) Utility and service facilities as required to implement the plan.

b) Uses Permitted Subject to a Conditional Use Permit

- 1) Pre-school and day care facilities, or as per City Code.

c) Lot Area Requirements

- 1) Building Site Area: the minimum net lot area for each dwelling shall be 7,200 square feet.
- 2) Building Site Coverage: the maximum building site coverage shall be fifty (50) percent of the net area of the site.

d) Minimum Dwelling Unit Size: 1,500 S.F.

e) Building Height

The maximum height for all buildings shall be two and one-half (2- 1/2) stories not to exceed thirty-five (35) feet.

f) Building Setbacks

- 1) Front Yard: The distance from the front property line to the:

- a) Dwelling unit shall be a minimum of seventeen and a half (17.5) feet.
- b) Garage shall be a minimum of seventeen and a half (17.5) feet.
- c) Roll-up doors for garages shall be provided.
- 2) Side Yard: The distance from the side property line to the building shall be a minimum five (5) feet on both sides.
- 3) Rear Yard: The distance from the rear property line to the dwelling unit and garage shall be twenty (20) feet.
 - a) The minimum setback from rear yard property line for patio covers shall be ten (10) feet, measured from the patio cover post. A patio cover may overhang one (1) foot into the required rear yard setback.
- 4) Corner Lots: Sideyards on corner lots shall be a minimum of ten (10) feet.

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4. R-1-5,000 (Planning Area A)

- a) Permitted Uses
 - 1) Single-family detached dwelling units.
 - 2) Accessory buildings, structures and uses where related and incidental to a permitted use.
 - 3) Utility and service facilities as required to implement the plan.
- b) Uses Permitted Subject to a Conditional Use Permit
 - 1) Pre-school and day care facilities, or as per City Code.
- c) Lot Area Requirements
 - 1) Building Site Area: the minimum lot area for each dwelling shall be 5,000 square feet.
 - 2) Building Site Coverage: the maximum site coverage shall be (50) percent of the net area of the site.

d) **Minimum Dwelling Unit Size**

The minimum dwelling unit size shall be 1,500 square feet.

e) **Building Height**

Maximum height for all buildings shall be two and one-half (2 1/2) stories, not to exceed thirty-five (35) feet.

f) **Building Setbacks**

1) **Front Yard:** The distance from the front property line to a:

- a) Dwelling unit shall be a minimum of seventeen and a half (17.5) feet.
- b) Front-on garage shall be seventeen and a half (17.5) feet.
- c) Side-on garage shall be fifteen (15) feet.
- d) Roll-up doors for garages shall be provided.

2) **Side Yard:** The total side yard setback shall be eight (8) feet. Unless a zero lot line is utilized, the minimum setback on any one side will be three (3) feet. If a zero lot line is used all provisions of the Uniform Building Code (UBC) will be followed.

3) **Rear Yard:** The distance from the building and the rear property line shall be a minimum of fifteen (15) feet.

- a) The minimum setback for patio covers shall be five (5) feet, measured from the patio cover post. A patio cover may overhang one (1) foot into the required rear yard setback.
- b) **Corner Lots:** Side yards on corner lots shall be a minimum of eight (8) feet.

5. **Parks (Planning Area C)**

a) **Permitted Uses**

- 1) **Parks and playgrounds**

PLANNING
AREA
C

- 2) Pedestrian and bicycle trails
- 3) Picnicking
- 4) Other such uses, facilities and events as deemed appropriate and compatible by the Planning Commission.

b) Site Development Standards

Development Advisory Board and Parks and Recreation Commission approval shall be required for park development (including all structures and facilities).

c) Park Amenities

The Neighborhood Park shall receive the following equipment:

NEIGHBORHOOD PARK

1. Playground equal to Miracle "lok-ville" play system.
 2. One (1 ea.) drinking fountain equal to Hawes #3380 Barrier Free Pedest. Mount.
 3. Eight (8 ea.) trash receptacles equal to Petersen - Precast #TCR-M30-A.
 4. Three (3 ea.) picnic tables equal to Wabash Valley #S511.
 5. One (1 ea.) picnic table for handicapped, equal to model #S53S Wabash Valley.
- Note: All tables shall have concrete pads as per City Specifications.
6. Four (4 ea.) grills - pedestal mount, waist high single site grill, stationary hot dip galvanized equal to Iron Mountain Forge 198XBBQ.
 7. Twelve (12 ea.) park security lights equal to VA-150-HPS, W/12Ft Black Pole Model #12 RAPVA.
 8. Six (6 ea.) benches equal Wabash Valley, Model #P2516 Black.
 9. One (1 ea.) bike rack equal to Porter Athletic Model #00396-011 Wave Bike Rack, 11 Loops, must be mounted on concrete. Playground curb shall be per City standards.

- 2) Pedestrian and bicycle trails
- 3) Picnicking
- 4) Other such uses, facilities and events as deemed appropriate and compatible by the Planning Commission.

b) Site Development Standards

Development Advisory Board and Parks and Recreation Commission approval shall be required for park development (including all structures and facilities).

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- 7. Twelve (12 ea.) park security lights equal to VA-150-HPS, W/12Ft Black Pole Model #12 RAPVA.
- 8. Six (6 ea.) benches equal Wabash Valley, Model #P2516 Black.

9. One (i ea.) bike rack equal to Porter Athletic Model #00396-011 Wave Bike Rack, 11 Loops, must be mounted on concrete. Playground curb shall be per City standards.
10. Park plan shall be 1 - 20 scale.
11. Park sign shall be per City standards.
12. Cost estimate for park sites shall be complete prior to release of building permits.

6. Open Space (Planning Area D)

a. Permitted Uses

- 1) Equestrian and pedestrian trails
- 2) Other such uses, facilities and events as deemed appropriate and compatible by the Planning Commission.

G. Development Review Procedures

Review of the Dwelling Unit Areas in the South Park Specific Plan will be implemented through the current City processes.

H) Administration

The Chapter of Administration covers the review of the individual planning unit, as well as the requirements for making changes or additions to the Specific Plan itself. The following is a Table of Contents that outlines the chapter:

1. Zoning/Land Use Districts
2. Approval Time Limits
3. Determination of Uses
4. Conditional Uses
5. Variances
6. Adjustments
7. Appeals
8. Enforcement
9. Amendments/Modifications

1. Zoning/Land Use Districts



Land use designations shall be applied to planning areas upon adoption of the Specific Plan, as contained in Chapter IV and shall maintain the regulatory powers of zoning.

2. Approval Time Limits

Each design approval granted shall become null and void two years after the date of approval.

3. Determination of Uses

Application for determination of similar uses shall be made, in writing, to the City Planning Commission and shall include a detailed description of the proposed use and such other information as may be required by the Commission, to facilitate the determination.

4. Conditional Uses

Conditional Uses from the terms of this Specific Plan shall follow the procedure as outlined in Chapter 30 of the Fontana Code.

5. Variances

Variances from the terms of this Specific Plan shall be permitted through the Variance Procedure as outlined in Chapter 30 of the Fontana Code.

6. Appeals

a. Appeal of Decision of Planning Commission

Where the City Code provides for appeal to the City Council of a decision of the Planning Commission, the appeal shall be made within ten (10) days of the date of the decision by filing an appeal application with the Planning Department. The appeal shall be processed pursuant to the provisions of Chapter 30.

b. Fee

An appeal shall be accompanied by a fee established by resolution of the City Council to cover the cost of processing the appeal.

c. City Council Action on Appeal

The City Council shall hold at least one public hearing on a decision of the Planning Commission which has been appealed as outlined in Chapter 30 of the City Code.

- d. The Council may affirm, reverse or modify a decision of the Planning Commission or Community Development Director. The decision of the City Council shall be final.
- e. Standing to Appeal

Any person who owns property within six hundred and sixty feet (660') of the exterior boundaries of the ,subject property, the applicant, or a member of the City Council may appeal the determination of the Planning Commission.

7. Enforcement

- a. Effective Date

Specific Plan amendments per this Section adopted by ordinance shall take effect thirty (30) days after final adoption by the City Council.

- b. At the time of recordation of a master tract map, the following stipulation will be added as part of the Conditions, Covenants and Restrictions (CC & R's) for the project. Fiesta Development, Inc. or its successor, as the master developer, will be responsible for monitoring and assuring that all merchant builders abide by and fully conform to all Development Standards and Conditions outlined in the Specific Plan and E.I.R."

8. Facilities Obligation

The financing and installation of all public infrastructure required to service the South Park Plan area will be the sole responsibility of Fiesta Development, Inc. Notwithstanding the responsibility for establishing a CFD, should that form of financing be desired by the Developer, the City will have no financial responsibility for the installation of regional infrastructure, including but not limited to, sewer, storm drain and water transmission as well as any local infrastructural needs, including but not limited to, streets, sewage, drainage and utilities.

5.0 Appendix

APPENDIX B
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

TRACT 15829, 58 LOTS, RECORDED IN BOOK _____ PAGES _____
THROUGH _____. TRACT 13332, LOTS 1-246, 255, 259-264, 266, 286, 287, 299-
304, 313, 314, 324-367, RECORDED IN BOOK 227 PAGES 18 THROUGH 30.

RESOLUTION AND ORDINANCE

ORDINANCE NO. 906

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY
OF FONTANA APPROVING THE SOUTH PARK SPECIFIC
PLAN

WHEREAS, the City Council has duly noticed and conducted a public hearing concerning the proposed adoption of the South Park Specific Plan and has considered written submissions and testimony with regard thereof; and

WHEREAS, the City Council has duly noticed and conducted a public hearing concerning the proposed adoption of an "Environmental Impact Report" pertaining to the South Park Specific Plan and has considered written submissions and testimony with regard thereto; and

WHEREAS, the Planning Commission has heretofore conducted a public hearing concerning the proposed adoption of the South Park Specific Plan and has recommended to the City Council that the City Council approve said Specific Plan No. 15 and certify EIR 87-74.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, HEREBY ORDAINS AS FOLLOWS:

Section 1. The City Council finds and determines that the proposed South Park Specific Plan will be consistent with the terms and conditions of the General Plan of the City of Fontana as amended in Amendment No. 88-1. The City Council further finds and determines that the adoption of said Specific Plan is consistent with and will further the public health, safety and welfare in that it sets forth development requirements and design standards which will ensure the orderly and planned development of the area subject to the Specific Plan.

Section 2. The City Council hereby approves and adopts as attached the South Park Specific Plan as set forth and incorporated herein by reference and subject to the attached conditions recommended by the Planning Commission.

Section 3. That the City Council directs that the provisions of the South Park Specific Plan shall not be in force and in effect until the following two actions have been completed:

- a. That General Plan Amendment No. 88-1 shall be adopted by the City Council after it conducts the necessary public hearing.
- b. That the applicant delivers One Hundred (100) copies of the full and complete text and maps of the South Park Specific Plan/EIR document integrating into such texts all the applicable conditions added by the Planning Commission and City Council. Delivery of acceptable copies and fulfillment of this condition shall be certified by the Planning Director in a letter addressed to the City Clerk after receipt of the required copies.

Section 4. This ordinance shall be effective thirty (30) days following the date of adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

CERTIFIED TRUE COPY


DEPUTY CITY CLERK, CITY OF FONTANA

APPROVED AND ADOPTED this 1st day of March, 1988.

/s/ Nathan A. Simon
Mayor of the City of Fontana

ATTEST:

/s/ Patricia M. Murray
City Clerk of the City of Fontana

I, Patricia M. Murray, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing ordinance, which was introduced at a regular meeting of said City Council held on the 16th day of February, 1988, was finally passed and adopted not less than five days thereafter, on the 1st day of March, 1988, by the following vote, to-wit:

AYES: Mayor Simon, Councilmen Day, Koehler, Kragness

NOES: Councilman Boyles

ABSENT: None

/s/ Patricia M. Murray
City Clerk of the City of Fontana

I further testify that said ordinance was thereupon signed by the Mayor of the City of Fontana.

/s/ Patricia M. Murray
City Clerk of the City of Fontana

DOC/RG/SO PARK ORD

APPENDIX A
Resolution and Ordinance

RESOLUTION NO. 88-39

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA
APPROVING THE SOUTH PARK SPECIFIC PLAN AND CERTIFYING
THE ASSOCIATED ENVIRONMENTAL IMPACT REPORT

WHEREAS, the City Planning Commission has conducted the necessary public hearing and recommended to the City Council that they certify the EIR and approve the attached South Park Specific Plan; and

WHEREAS, the City Council of the City of Fontana has been duly noticed and conducted its own public hearing on the proposed South Park Specific Plan and the associated EIR; and

WHEREAS, the City Council has considered all written submissions and oral testimony with regard thereto, and;

WHEREAS, the City Council is desirous of promoting appropriate new development with high quality standards and served by adequate public facilities.

NOW THEREFORE, BE IT RESOLVED, that the Fontana City Council:

Section 1. Hereby certifies that it has read and considered the attached Environmental Impact Report and that said document has been prepared in accordance with the California Environmental Quality Act.

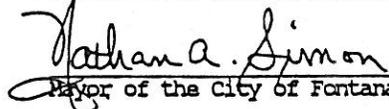
Section 2. Hereby authorizes and directs the Planning Department staff to file a Notice of Determination with the County Clerk of the County of San Bernardino.

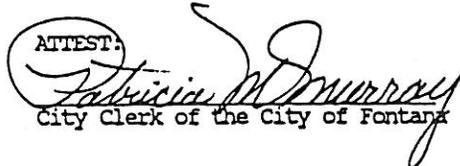
Section 3. Hereby adopts the Statement of Overriding Considerations as attached.

Section 4. Hereby adopts the Specific Plan Findings as attached.

Section 5. Hereby adopts the South Park Specific Plan subject to all the conditions as included in the attached ordinance.

APPROVED AND ADOPTED this 16 day of February 1988.


Nathan A. Simon
Mayor of the City of Fontana

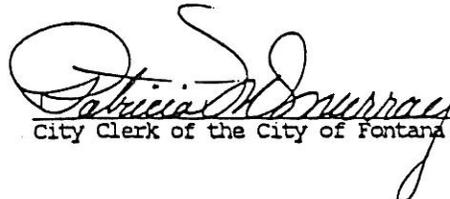
ATTEST:

Patricia M. Murray
City Clerk of the City of Fontana

I, Patricia M. Murray, City Clerk of the City of Fontana and Exofficio Clerk of the City Council, do hereby certify that the foregoing resolution was duly and regularly adopted by the City Council of the City of Fontana at a regular meeting thereof, held on the 16th day of February 1988.

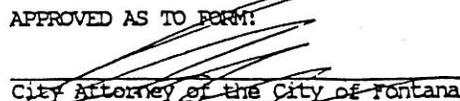
AYES: Mayor Simon, Councilmen Day, Koehler, Kragness

NOES: Councilman Boyles

ABSENT: None


Patricia M. Murray
City Clerk of the City of Fontana

APPROVED AS TO FORM:


City Attorney of the City of Fontana

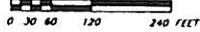
CC.SP#15

CERTIFIED TRUE COPY

Patricia M. Murray
City Clerk of the City of Fontana

LEGAL DESCRIPTION

TENTATIVE MAP AND CONDITIONS OF APPROVAL



IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
TENTATIVE TRACT NO. 15829

A POR. OF THE SOUTH PARK SPECIFIC PLAN

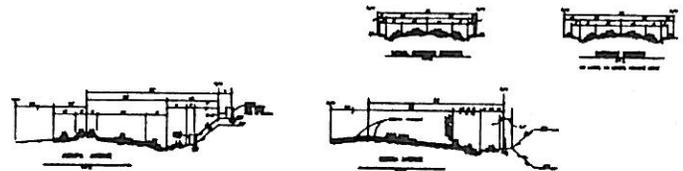
BEING A RESUBDIVISION OF LOTS 247 THRU 254, 256 THRU 258, 265, 267 THRU 285, 288 THRU 298, 305 THRU 312, AND 315 THRU 323 TOGETHER WITH PORTIONS OF LETTERED LOTS "B", "C", AND "D" OF TRACT 13332 AS PER MAP RECORDED IN BOOK 227, PAGES 18 THRU 30 OF MAPS, IN THE OFFICE OF THE SAN BERNARDINO COUNTY RECORDER



1 INCH = 60 FEET

STATISTICAL INVENTORY FOR TR 15829

	SQ FT	ACRES	%
TOTAL GROSS AREA	1,204,740	27.64	100.0
STREETS	170,300	3.91	14.1
GREENBELT-OPEN SPACE	0	0	0
DEDICATED PARK	93,260	2.14	7.7
SCHOOLS	0	0	0
NON-BUILDABLE LAND (2:1 SLOPE)	339,570	8.23	29.9
NET AREA	581,610	13.36	48.3
TOTAL NO OF LOTS	58		
TOTAL NO OF LOTS/NET ACRE	4.3		
TOTAL NO OF LOTS PER GROSS ACRE	2.1		
TOTAL SF OF BUILDINGS	N/A		



TYPICAL BLDG. SETBACKS



SETBACK	FRONT	SIDE	REAR
MINIMUM	5 FT	5 FT	5 FT
MAXIMUM	10 FT	10 FT	10 FT

OWNER

PIETA DEVELOPMENT INC
 14715 VILLAGE DR
 FONTANA, CA 92337
 PHONE (909) 386-1867

APPLICANT

ADKAN ENGINEERS
 8820 AMPORT DRIVE
 RIVERSIDE, CA 92504
 PHONE (909) 588-0311

UTILITY PURVEYORS

WEST SAN BERNARDINO COUNTY WATER DISTRICT
 LOCAL TELEPHONE (909) 876-1804
 USA MEMBER UTILITY PHONE: 1-800-433-4133

PACIFIC BELL
 LOCAL TELEPHONE 1-800-061-2366

SOUTHERN CALIFORNIA EDISON CO. (SCE)
 (SOUTH OF GERRILL AVE)
 LOCAL TELEPHONE (909) 875-8420
 USA MEMBER UTILITY PHONE: 1-800-432-4133

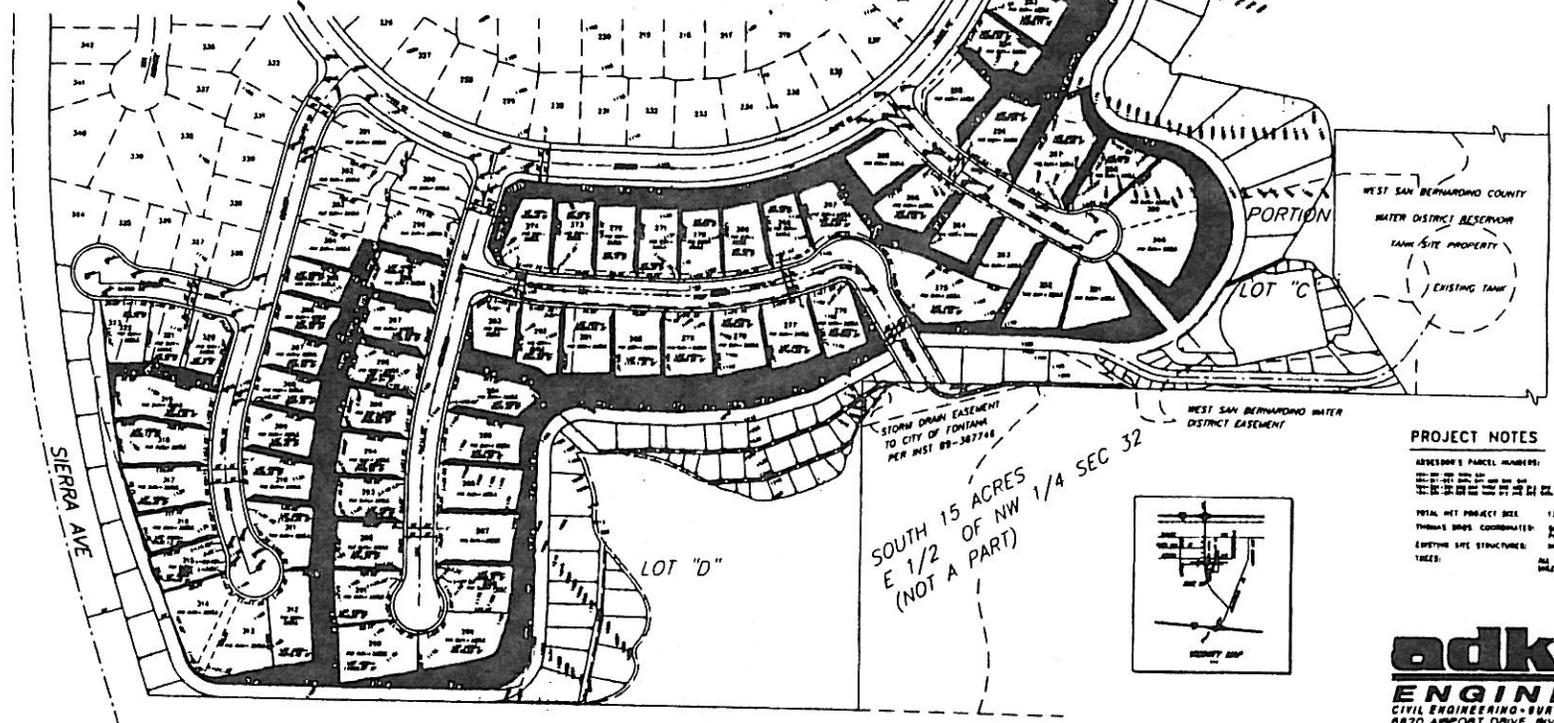
SOUTHERN CALIFORNIA GAS CO.
 LOCAL TELEPHONE (909) 793-2808
 USA MEMBER UTILITY PHONE: 1-800-432-4133

FONTANA COMMUNITY DEVELOPMENT DEPT
 (SEWER AND STORM DRAIN)
 LOCAL TELEPHONE (909) 386-7610

COMCAST CABLE
 LOCAL TELEPHONE (909) 868-0083

ZONING/LANDUSE

LAND USE DESIGNATION: SOUTH PARK SPECIFIC PLAN (SP-11)
 S.P. DISTRICT DESIGNATION: SINGLE FAMILY
 EXISTING/PROPOSED ZONING DISTRICT: SPECIFIC PLAN
 EXISTING LANDUSE: VACANT
 PROPOSED LANDUSE: SINGLE FAMILY RES



PROJECT NOTES

ADKANS'S PARCEL NUMBERS:
 001-002-003-004-005-006-007-008-009-010-011-012-013-014-015-016-017-018-019-020-021-022-023-024-025-026-027-028-029-030-031-032-033-034-035-036-037-038-039-040-041-042-043-044-045-046-047-048-049-050-051-052-053-054-055-056-057-058-059-060-061-062-063-064-065-066-067-068-069-070-071-072-073-074-075-076-077-078-079-080-081-082-083-084-085-086-087-088-089-090-091-092-093-094-095-096-097-098-099-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231-1232-1233-1234-1235-1236-1237-1238-1239-1240-1241-1242-1243-1244-1245-1246-1247-1248-1249-1250-1251-1252-1253-1254-1255-1256-1257-1258-1259-1260-1261-1262-1263-1264-1265-1266-1267-1268-1269-1270-1271-1272-1273-1274-1275-1276-1277-1278-1279-1280-1281-1282-1283-1284-1285-1286-1287-1288-1289-1290-1291-1292-1293-1294-1295-1296-1297-1298-1299-1300-1301-1302-1303-1304-1305-1306-1307-1308-1309-1310-1311-1312-1313-1314-1315-1316-1317-1318-1319-1320-1321-1322-1323-1324-1325-1326-1327-1328-1329-1330-1331-1332-1333-1334-1335-1336-1337-1338-1339-1340-1341-1342-1343-1344-1345-1346-1347-1348-1349-1350-1351-1352-1353-1354-1355-1356-1357-1358-1359-1360-1361-1362-1363-1364-1365-1366-1367-1368-1369-1370-1371-1372-1373-1374-1375-1376-1377-1378-1379-1380-1381-1382-1383-1384-1385-1386-1387-1388-1389-1390-1391-1392-1393-1394-1395-1396-1397-1398-1399-1400-1401-1402-1403-1404-1405-1406-1407-1408-1409-1410-1411-1412-1413-1414-1415-1416-1417-1418-1419-1420-1421-1422-1423-1424-1425-1426-1427-1428-1429-1430-1431-1432-1433-1434-1435-1436-1437-1438-1439-1440-1441-1442-1443-1444-1445-1446-1447-1448-1449-1450-1451-1452-1453-1454-1455-1456-1457-1458-1459-1460-1461-1462-1463-1464-1465-1466-1467-1468-1469-1470-1471-1472-1473-1474-1475-1476-1477-1478-1479-1480-1481-1482-1483-1484-1485-1486-1487-1488-1489-1490-1491-1492-1493-1494-1495-1496-1497-1498-1499-1500-1501-1502-1503-1504-1505-1506-1507-1508-1509-1510-1511-1512-1513-1514-1515-1516-1517-1518-1519-1520-1521-1522-1523-1524-1525-1526-1527-1528-1529-1530-1531-1532-1533-1534-1535-1536-1537-1538-1539-1540-1541-1542-1543-1544-1545-1546-1547-1548-1549-1550-1551-1552-1553-1554-1555-1556-1557-1558-1559-1560-1561-1562-1563-1564-1565-1566-1567-1568-1569-1570-1571-1572-1573-1574-1575-1576-1577-1578-1579-1580-1581-1582-1583-1584-1585-1586-1587-1588-1589-1590-1591-1592-1593-1594-1595-1596-1597-1598-1599-1600-1601-1602-1603-1604-1605-1606-1607-1608-1609-1610-1611-1612-1613-1614-1615-1616-1617-1618-1619-1620-1621-1622-1623-1624-1625-1626-1627-1628-1629-1630-1631-1632-1633-1634-1635-1636-1637-1638-1639-1640-1641-1642-1643-1644-1645-1646-1647-1648-1649-1650-1651-1652-1653-1654-1655-1656-1657-1658-1659-1660-1661-1662-1663-1664-1665-1666-1667-1668-1669-1670-1671-1672-1673-1674-1675-1676-1677-1678-1679-1680-1681-1682-1683-1684-1685-1686-1687-1688-1689-1690-1691-1692-1693-1694-1695-1696-1697-1698-1699-1700-1701-1702-1703-1704-1705-1706-1707-1708-1709-1710-1711-1712-1713-1714-1715-1716-1717-1718-1719-1720-1721-1722-1723-1724-1725-1726-1727-1728-1729-1730-1731-1732-1733-1734-1735-1736-1737-1738-1739-1740-1741-1742-1743-1744-1745-1746-1747-1748-1749-1750-1751-1752-1753-1754-1755-1756-1757-1758-1759-1760-1761-1762-1763-1764-1765-1766-1767-1768-1769-1770-1771-1772-1773-1774-1775-1776-1777-1778-1779-1780-1781-1782-1783-1784-1785-1786-1787-1788-1789-1790-1791-1792-1793-1794-1795-1796-1797-1798-1799-1800-1801-1802-1803-1804-1805-1806-1807-1808-1809-1810-1811-1812-1813-1814-1815-1816-1817-1818-1819-1820-1821-1822-1823-1824-1825-1826-1827-1828-1829-1830-1831-1832-1833-1834-1835-1836-1837-1838-1839-1840-1841-1842-1843-1844-1845-1846-1847-1848-1849-1850-1851-1852-1853-1854-1855-1856-1857-1858-1859-1860-1861-1862-1863-1864-1865-1866-1867-1868-1869-1870-1871-1872-1873-1874-1875-1876-1877-1878-1879-1880-1881-1882-1883-1884-1885-1886-1887-1888-1889-1890-1891-1892-1893-1894-1895-1896-1897-1898-1899-1900-1901-1902-1903-1904-1905-1906-1907-1908-1909-1910-1911-1912-1913-1914-1915-1916-1917-1918-1919-1920-1921-1922-1923-1924-1925-1926-1927-1928-1929-1930-1931-1932-1933-1934-1935-1936-1937-1938-1939-1940-1941-1942-1943-1944-1945-1946-1947-1948-1949-1950-1951-1952-1953-1954-1955-1956-1957-1958-1959-1960-1961-1962-1963-1964-1965-1966-1967-1968-1969-1970-1971-1972-1973-1974-1975-1976-1977-1978-1979-1980-1981-1982-1983-1984-1985-1986-1987-1988-1989-1990-1991-1992-1993-1994-1995-1996-1997-1998-1999-2000-2001-2002-2003-2004-2005-2006-2007-2008-2009-2010-2011-2012-2013-2014-2015-2016-2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2

CONDITIONS OF APPROVAL FOR TENTATIVE TRACT #13332

PLANNING DEPARTMENT:

1. Design and Development standards as outlined in the South Park Specific Plan and EIR 87-74 will be adhered to in all development areas.
2. Prior to the issuance of any building permit, the developer shall submit and receive approval of a Design Review Application which encompasses site plans, floor plans, elevations and other appropriate drawings for all dwelling units.
3. A six (6) foot or eight (8) foot high decorative block wall shall be constructed around the perimeter of the tract. Specific location of these walls is reflected on the tract map.

SOUTHERN CALIFORNIA EDISON:

4. The applicant shall provide Southern California Edison with three (3) copies of the Final Map, including title sheets, not later than two (2) weeks prior to recordation of the tract. Ornamental street lights will be installed in a number and at locations, as recommended by Southern Edison, at a differential, per-unit costs as filed in applicable tariff schedules with the State Public Utilities Commission. The applicant shall comply with all current regulations and rules of Southern California Edison as filed with the State Public Utilities Commission for the installation of underground utilities within this tract.

FIRE DISTRICT:

5. This project shall comply with all fire protection codes and standards adopted by the City of Fontana and/or the Central Valley Fire Protection District.
6. All water fire mains and require fire hydrants shall be installed and in operation prior to the installation of any combustibles on the site.
7. A plan showing underground water fire mains, valves, hydrants, etc. shall be provided for approval to the Fire District, prior to the issuance of building permits.
8. The required Fire Flow is 1250 G.P.M. at 20 P.S.I. Residual Pressure.
9. The total number of fire hydrants required are: 38.
10. On-site: 0 Off-site: 38 F.H. Markers: 37
11. The applicant shall submit an underground water plan indicating fire hydrant(s) and pavement marker(s) at the following location(s): Five (5) on Jurupa every 600 feet, four (4) on Sierra every 600 feet. Corner of lots 19, 27, 35, 55, 63, 71, 77, 138, 161, 185, 203, 225, 367, 332, 328, 274, 283, 266. Between lots 83 & 84, 360 & 361, 152 & 153, 130 & 131, 177 & 178, 196 & 197, 218 & 219, 276 & 277, 287 & 288, 316 & 317, 43 & 44. Spare hydrant markers shall be provided in the amount equal to 10% of the total required.
12. The above referenced project is protected by the San Bernardino County Fire Agency. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Agency for verification of current Fire Protection

requirements as well as ascertain Fire Department right of way requirements.

13. All new construction shall comply with all applicable statues, codes, ordinance or standards of the Fire Agency.
14. Address numerals shall be a minimum of four inches in height on a contrasting background and shall be visible with the street. During the hours of darkness they shall be illuminated. (Standard No. 122).
15. Each chimney used in conjunction with any fireplace or heating appliance shall be maintained with an approved spark arrester as identified in the Uniform Fire Code (Standard Number 131).
16. Water systems designed to meet the required fire flow of this development shall be approved by the Fire Agency. The developer shall furnish the Fire Agency with two copies of the water system improvement plans for signature and a letter from the Water Purveyor stating the availability of the required fire flow prior to recordation. Water systems shall be operational and approved by the Fire Agency or bonded for prior to recordation. Prior to any above grade construction occurring, water for fire protection shall be operational and approved by the Fire Agency.
17. Automatic life safety fire sprinkler system required. This system shall meet the Standards of NFPA 13D and Fire Agency Standard Number 126. The developer shall submit detail plans and hydraulic calculations to the Fire Agency for approval. Minimum water supply shall be a one inch meter.

PUBLIC WORKS DEPARTMENT:

18. Unless otherwise exempted, this tentative map shall comply with City and State subdivision codes and city standards/regulations for street improvements, sanitary sewers, storm drainage facilities and underground utilities.
19. The applicant shall provide the following underground utility services to each lot: sanitary sewers, water, electric power, gas, telephone and cable television. The applicant shall provide construction plans to all utility companies.
20. If this map is to be recorded and constructed in phases, each phase shall not be dependent upon improvements to be provided in a future phase. Numbering lots in each phase shall begin with lot #1; there shall be no continuation of a numbering system from another phase.
21. Sufficient horizontal survey control shall be shown on the Final Map to accurately retrace the tract boundary.
22. The applicant shall dedicate by Final Map all interior street rights-of-way.
23. The applicant shall construct full street improvements as applicable including curb and gutter, A.C. pavement, sidewalk, one drive approach per lot, parkway trees and street lights.
24. The applicant shall make payment to the City of Fontana for street name signs and traffic control signs to be installed by the City after acceptance of the map by the City Council.
25. Street light sizes and locations shall be determined by the City and payment made to Southern California Edison for installation.
26. All existing streets excavated for utility installation shall be overlaid with A.C. pavement.

27. Final Map and Off-Site Improvement Plan Checking Fees are required.
28. Any development which is subject to San Bernardino County jurisdiction or which will affect their facilities will require County approval.
29. Any development involving construction in the right-of-way of a state highway will require approval and issuance of an encroachment permit by CALTRANS.
30. Prior to commencement of work in the public right-of-way, a construction permit shall be obtained from the Public Works Department.
31. All sanitary sewer facilities shall be constructed either in accordance with the Master Sanitary Sewer plan or as recommended by the Public Works Department.
32. This tract shall be served by the City's sanitary sewer system as determined by the Public Works Department.
33. Commercial/Industrial applicants shall provide the Public Works Department with an estimated of average monthly water usage for calculation of sewer fees.
34. Prior to the issuance of building permits, a Sanitary sewer service fees shall be paid (S 26-43).
35. Prior to the issuance of building permits, Sanitary sewage facilities expansion fees shall be paid (S 26-66).
36. If the tract is located in an area indicated by the National Food Insurance program as subject to flooding. This tract shall be subject to the provisions of said program.
37. The applicant shall construct all storm drain and drainage structures either in accordance with the Master Storm Drainage Plan or as recommended by the Public Works Department/San Bernardino County Flood Control District. In lieu of implementing the Master Storm Drainage Plan for this tract, a storm drain installation fee shall be paid.
38. Prior to Final Map approval, a hydrology study prepared in accordance with City standards, shall be submitted to and approved by the Public Works Department. This study shall determine storm runoff and disposal facilities for the tract and adjacent streets. If recommended by this hydrology study, additional flood control improvements may be required as a condition of Final Map approval.
39. Mid-block cross-gutters are not permitted.
40. The applicant shall satisfy Public Works department requirements for providing sufficient downstream protection from drainage generated by this tract.
41. This tract shall be developed in such a manner that storm drainage will not enter it.
42. To be developed in accordance with adopted specific plan, City code and City standards.
43. Phasing to be indicated on tentative map so specific conditions can be written for each phase.
44. Sierra Avenue and Jurupa Avenue frontages to be dedicated and improved to Specific Plan standards (Sierra, eastside; Jurupa both sides).

45. Sanitary sewer be constructed to nearest point of service (Poplar and Jurupa) in accordance with City Master Plan.
46. Storm drainage be constructed to nearest point of service (SRV Phase II) in accordance with City Master Plan.
47. Installation of a Traffic Signal at the intersection of Sierra and Jurupa.
48. All necessary infrastructure be installed and accepted prior to finals for occupancy.
49. Install all street lights as required.
50. Provide Cable TV facilities.
51. All necessary drainage facilities be installed prior to or at the same time as "mass grading"...
52. In regards to lots 344, 343, 342, 341, 340 and 324. The City will vacate the existing R.O.W. located on the rear yard slope of the above lots and dedicate an easement so that this slope will become part of these lots.

COLTON UNIFIED SCHOOL DISTRICT:

53. Prior to the issuance of building permits, school impactation fees shall be paid to the Colton Unified School District.

WEST SAN BERNARDINO COUNTY WATER DISTRICT:

54. The applicant shall provide water service as per the District Water Standards.

POLICE DEPARTMENT:

55. Upon completion of final grading and completion of curb and gutters, temporary street name signs will be installed at each intersection.
56. The signs will have the approximate dimensions of city approved street name signs. Colors will consist of a green background with white lettering.

GENERAL SERVICES AGENCY:

57. Landscape and irrigation plans shall comply with South Park specific plan.
58. All landscape and irrigation designs shall incorporate drought tolerant plant materials and water efficient irrigation systems.
59. The following plans require approval from GSA prior to issuance a building permit. Submit 2 copies to GSA for review.
 - A. 2 Landscape construction plan and details.
 - B. 2 Irrigation plan and details.
 - C. 2 Planting plan and details.
60. Prior to recordation, a Maintenance District shall be established. Cost of three engineering maps, landscaping, irrigation and one year bonding and maintenance are to be born the developer (mylar required). Grading permit will not be issued until annexation.
61. Landscape maintenance bonding is required for one year. Bond amount will be computed based upon current rate in effect when Building Permits are issued. Maximum amount of bond is

\$15,000. At present bond would be: _____ square feet x \$1.50
= _____

62. Landscape ARchitect is responsible for on-site inspections and installation guarantee according to approved plans. A Certificate of Completion shall be filed with GSA requesting a Final Inspection of Occupancy.
63. LMD irrigation system shall be design and installed with computer compatability.

BUILDING AND SAFETY:

64. All construction shall comply to the appropriate State Codes.
65. Maximum slope allowed 2:1 or as approved by Soils Engineer.
66. Drainage structures over private property to be by way of easements maintained by City.

doc/rg/tt 13332

CONDITIONS OF APPROVAL

PROJECT: Tentative Tract Map No. 15829 **DATE:** August 25, 1997

LOCATION: East of and abutting Sierra Avenue, south of the Southern California Edison transmission line corridor, within the Southpark Specific Plan boundaries.

1. The following Conditions of Approval shall be incorporated into all applicable final grading and constructions plans and a copy of these conditions shall be placed on the first sheet of the final grading and building plans prior to issuance of building permits.

PLANNING DIVISION:

2. This project shall comply with all applicable standards of the Southpark Specific Plan and its subsequent amendments, the City of Fontana Development Code and the City of Fontana Subdivision Ordinance.
3. The final map shall be in substantial conformance with the approved tentative map.
4. ~~The rights and privileges granted by Tentative Tract No. 15829 shall not become effective, nor shall the applicant commence the use for which this tentative tract approval is granted, until both of the following has occurred:~~
 - ~~a. All of the improvements, construction, alteration and other work set forth in Tentative Tract No. 15829 have been completed and have been accepted by the City, as evidenced by the City's issuance of a Certificate of Completion or other document evidencing the City's final inspection and acceptance of the work, and~~
 - ~~b. All other Conditions of Approval imposed by Tentative Tract No. 15829 have been fulfilled. [AS MODIFIED AT 08/25/97 PLANNING COMMISSION MEETING]~~
5. ~~All required on and off site improvements shall be required to be installed commensurate with the particular phase or phases of the project which are being developed. [AS MODIFIED AT 08/25/97 PLANNING COMMISSION MEETING]~~
6. The project area lies within known "Delhi Sands" soil area and may be potential habitat for the Delhi Sands Flower Loving Fly. Applicant shall be subject to all requirements of the Federal Endangered Species Act as it may apply to this property.
7. ~~The applicant shall redesign lots 19-22 to construct a cul-de-sac street [AS MODIFIED AT 08/25/97 PLANNING COMMISSION MEETING]~~

LANDSCAPE DEVELOPMENT:

8. All landscape and irrigation plans shall comply with the City of Fontana Standard Specifications.
9. Landscape and irrigation plans shall comply with the Southpark Specific Plan.

10. All landscape and irrigation designs shall incorporate drought tolerant plant materials and water efficient irrigation systems. [Ordinance No.1087] Article IV, Sec. 28-91 F.C.C.
11. The following plans require approval from Landscape development, Engineering Division, prior to issuance of a building permit. Submit 2 copies for review:
 - A. Landscape construction plan & details
 - B. Irrigation plan and details
 - C. Planting plan and details
 - D. Provide preliminary plan(s) for review and approval prior to Planning Commission
12. This development will be located within a maintenance CFD. A Homeowners Agreement is required to be signed by the Developer informing future homeowners of the landscape maintenance assessment.
13. Landscape Architect is responsible for on-site inspections and installation guarantee according to approved plans. A Certificate of Completion shall be filed with Landscape Development requesting a Final Inspection of Occupancy.
14. Street trees are required to be planted in accordance with city standards. Species to be determined by Landscape Architect and approved by City of Fontana Landscape Development.
15. All slopes over five (5) feet in height are required to be landscaped.

BUILDING & SAFETY DIVISION:

16. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with Fontana City Ordinance No. 1007.
17. All perimeter/boundary walls shall be designed and constructed so that the outer/exterior face of the wall is as close as possible to the property line. In any case, the outer/exterior face of the wall shall be within two inches of the property line. Distances greater than two inches may be approved prior to construction by the Building Official on a case by case basis for extenuating circumstances.
18. All property lines, easement lines, etc. shall be located and/or relocated in such a manner as to not cause any existing structure to become non-conforming with the requirements of the latest adopted edition of the Uniform Building Code, or any other applicable law, ordinance, or code.
19. The tract map shall record prior to the issuance of any building permits.

ENGINEERING:

20. Unless otherwise exempted, the final map must comply with the current State Subdivision Map Act, as amended, and all applicable provisions of any Development Agreement.
21. This tract map shall be bound by those conditions originally approved with Tract Map No. 13332. Such conditions are applicable to this tract map and compliance required as identified in the Southpark Specific Plan at different stages of tract map approvals.

FIRE DEPARTMENT:

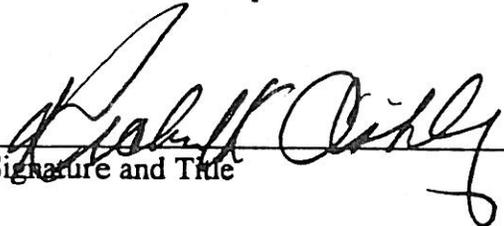
22. The project shall comply with the following conditions of approval:
 - F2: Prior to recordation of the final parcel or tract and/or before issuance of building permit(s), a water system designed to meet the required fire flow shall be approved by the Water Company having jurisdiction and Fire Staff. The developer shall furnish the Fire Department with two copies of the water system improvement plans and a letter from the water purveyor stating the water system is capable of providing the required fire flow. The water system shall be approved and operational or provisions for bonding shall be required prior to recordation. Water supply for fire protection shall be operational and field inspection approval shall be granted before construction will be permitted. The required fire flow shall be determined by using appropriate calculations established by the San Bernardino County "Guide for Determining Required Fire Flow". All underground piping for water systems shall have a minimum of eight (8) inches in diameter with no less than six (6) inch lateral lines, and six (6) inch risers.
 - F3: The above referenced project is protected by the San Bernardino County Fire Department. Prior to any construction occurring on any parcel, the Fire Department shall be contacted for verification of current fire protection requirements. All new construction shall comply with the existing Uniform Fire Code requirements and all applicable codes, ordinances or standards of the Fire Department.
 - F4: Prior to final inspection or occupancy, this development shall comply with the Fire Safety Overlay District as adopted in County Ordinance No. 3341.
 - F6: Prior to issuance of a building permit, one hundred (100) foot fuel modification zone in compliance with county standards is required. Contact the Fire Department for specific requirements.
 - F7: Prior to framing construction, approved fire hydrants and fire hydrant pavement markers shall be installed. Fire hydrants shall be six (6) inches in diameter with a minimum of one

4 inch and one 2 ½ inch connection as specified by fire staff. The design of the fire hydrant and hydrant markers shall be approved by the Fire Department. All fire hydrant spacing shall be three hundred (300) feet maximum unless otherwise approved by the Fire Chief.

F9a: Prior to final inspection, residential street address numbers shall be posted, on the building, with a minimum four (4) inch in height by one half (½) inch stroke width visible from the street. During the hours of darkness, addresses shall be electrically illuminated, internally, with a low voltage power source. Posted numbers shall have contrasting backgrounds and be legible from the street in accordance with the Uniform Fire Code. Where building setbacks exceed one hundred (100) feet from the roadway, additional non-illuminated contrasting four (4) inch numbers shall be displayed at property access entrances.

F17: Prior to clearance for occupancy, an automatic life safety fire sprinkler system is required. This system shall comply with NFPA Pamphlet #13D and Fire Department Guidelines #10.507D. The developer shall submit detailed plans and hydraulic calculations to the San Bernardino county Fire Department. Fees are required at the time of plan submittal. Minimum water supply shall be a one inch meter.

The undersigned has read, acknowledges the content of and agrees to the Conditions of Approval for Tentative Parcel Map No. 15829 contained herein.

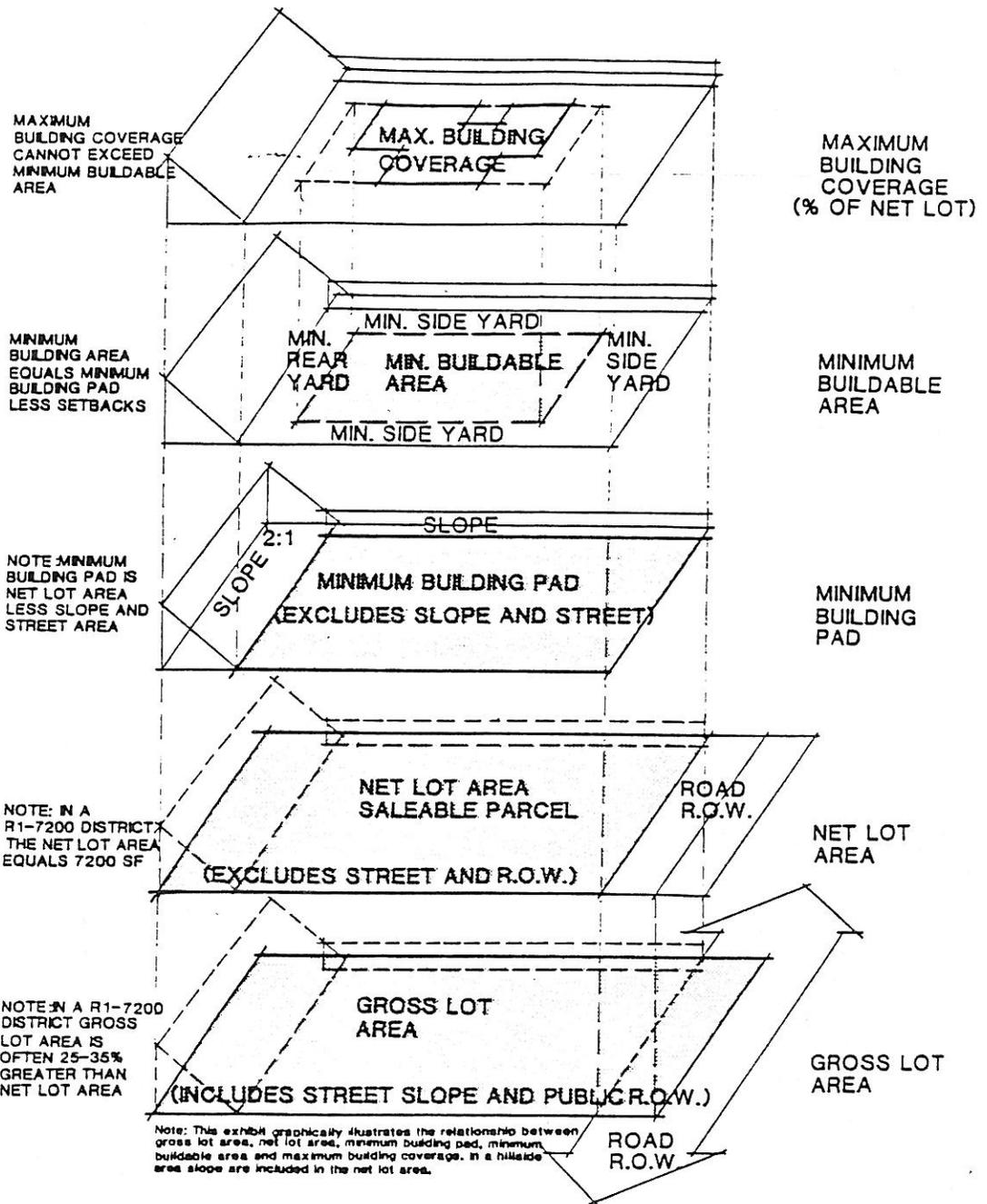


Signature and Title

8-29-97

Date

END OF CONDITIONS



APPENDIX E RESIDENTIAL LOT DEFINITIONS SOUTH PARK

CITY OF FONTANA

